



## **Addendum Number One**

**Date of Issue:** 02/22/13

**Project:** USC Preston College Bathroom and Flooring Renovations  
Project Number: H27-6086-SG

### **TO: ALL BIDDERS OF RECORD**

This addendum modifies the Contract documents only in the manner and to the extent stated herein and shown on any accompanying drawings and will become part of the Contract Documents. Except as specified or otherwise indicated by this Addendum, all work shall be in accordance with the basic requirements of the Contract Documents.

**BIDDERS SHALL ACKNOWLEDGE RECEIPT OF ADDENDUM IN THE SPACE PROVIDED ON THE BID FORM. FAILURE TO DO SO MAY CONSTITUTE A REASON TO REJECT THE BID.**

This Addendum consists of fifty-eight (58) pages including this document and the following:

#### **I. Enclosures:**

1. Plan Holder's List/Pre-Bid Sign-In Sheets (6 pages)
2. USC SWMBE Sub-Contractor Report (1 page)
3. Sketch SK-A-001
4. Sketch SK-A-002
5. Sketch SK-A-003
6. Sketch SK-A-004
7. Sketch SK-A-005
8. Sketch SK-A-006
9. Drawing AD101 Alternate Demolition Plans (1 Sheet)
10. Drawing A101 Alternate Renovation Plans (1 Sheet)
11. Drawing A502 Shower Enclosure Details (1 Sheet)
12. Drawing M102 Attic Floor Renovation Plan, Notes, Schedule and Legend (1 Sheet)
13. Sketch SK-P-001
14. Sketch SK-P-002
15. Specification Section 00312 Existing Hazardous Material Information (27 Pages)

16. Specification Section 09305 Tile Setting Materials and Accessories  
(7 pages)

**II. General Information: Questions and Answers**

The pre-bid discussion items and subsequent questions were reviewed. The following points for clarification are clarified:

1. **PROJECT DURATION and ACCESS:** The project schedule was discussed to highlight the limited time schedule and importance of completing the project within the anticipated time frame as described in the Contract Documents. Once turned over to the Contractor, the site will be available 24 hours/7 days a week.

2. **REQUEST FOR SUBSTITUTIONS:** Architect indicated that the deadline for Requests for Substitutions in Feb 18, 2013.

3. **ADDENDA POSTING:** Any and all addenda will be posted on the USC purchasing website. It is the responsibility of the Contractor to check the website for postings. No Addenda will be issued after Friday, February 22 at 5p.

4. **FIXTURE TYPE 'B':** For pricing of Fixture Type 'B' please contact David Jordan at The Schneider Company, 803 513 2239.

**III. Changes to the Specifications:**

1. **SECTION 00312 – EXISTING HAZARDOUS MATERIAL INFORMATION**  
Delete this section in its entirety and replace with attached section dated 2/20/13.
2. **SECTION 09305 – TILE SETTING MATERIALS AND ACCESSORIES**  
Delete this section in its entirety and replace with attached section dated 2/20/13.
3. **SECTION 09310 – CERAMIC TILE**  
Delete Sub-Section 2.3 and replace with the following:  
  
“2.3 SETTING MATERIALS  
A. Unmodified Thin Set Mortar for tiled areas: Premium-grade, dry-set mortar for use in floor and wall applications meeting ANSI A118.1 when mixed with water.”
4. **SECTION 09661 – RESILIENT FLOOR TILE**  
In Sub-Section 2.03, delete 'V-82' and add 'V-88'.

#### IV. Changes to the Drawings:

1. **SHEET G001 / Wall Type 2** After “GWB” add “OR 1/2” KERDI BOARD”.
2. **SHEET G001 / Wall Type 3** Delete note “GWB (5/8”) ONE SIDE” and add “5/8”  
GWB OR 1/2” KERDI BOARD ONE SIDE”.
3. **SHEET G001 / Wall Type 3** Add “BELOW” after note “CERAMIC WALL TILE”.
4. **SHEET G001 / Wall Type 4** Delete note “GYPSUM BOARD (5/8”) ONE SIDE”  
and add “1/2” KERDI BOARD AND TILE ONE SIDE”.
5. **SHEET G001 / Wall Type 4** Delete note “FINISH AS INDICATED ON INT.  
ELEVATIONS.”
6. **SHEETS AD100, AD101, A100, A101, A120, A121 and E100** Delete Toilet  
Room Count and add Toilet Room Count as indicated in SK-A-001.
7. **SHEET AD101** Remove and replace with enclosed sheet AD101.
8. **SHEET AD111 / B2** Delete keyed notes 8 and 13 between toilet and lavatory.
9. **SHEETS AD111, A111 and A131 / A1 Room Listing** Delete room numbers  
255C and 216A. Add 218A to Opposite Hand Room Listing.
10. **SHEET AD112 / A1** Add keyed note 8.
11. **SHEET A101** Remove and replace with enclosed sheet A101.
12. **SHEET A111** Delete B2/A111 and add Sketch SK-A-002.
13. **SHEETS A111, A112, and A201** Delete Toilet Accessory K. Refer to plumbing.
14. **SHEET A112 / A1** Delete note and note box.
15. **SHEET A131 / B2** Delete keyed note 1. New GWB ceiling to match existing  
ceiling height.
16. **SHEET A132 / A1** Add keyed note 1.
17. **SHEET A132 / B2** Add keyed note 1.
18. **SHEET A200** Delete A3/A200 and add Sketch SK-A-003.

19. **SHEET A200 / D1, D2, D3, D4** Delete “EXISTING CEILING” and add “GWB CEILING”.
20. **SHEETS A200 and A201 Tile Installation Note 3** After the word “DEGREES” add “U.N.O.”.
21. **SHEETS A200 and A201 Tile Installation Notes** Add note 14 “INSTALL PREFABRICATED SCHLUTER SHAVING LEDGE PER MANUFACTURER’S RECOMMENDATIONS. REFER TO ENLARGED FLOOR PLANS ON SHEETS A111 AND A112.”
22. **SHEET A201 / A1, A2, A3, A4** Delete “LAY-IN ACT CEILING” and add “EXISTING CEILING”.
23. **SHEET A201 / D1** Before “SHAVING LEDGE” add “PREFABRICATED SCHLUTER”.
24. **SHEET A500** Delete A1/A500 and add Sketch SK-A-004.
25. **SHEET A501** Delete B1/A501 and add Sketch SK-A-005.
26. **SHEET A502** Remove and replace with enclosed sheet A502.
27. **SHEET A504 / B1** Add layer 1/4” Luaun Underlayment below new LVT flooring.
28. **SHEET A504 / B3** Add “BONDO TOP OF PLINTH BLOCK” to note.
29. **SHEET A504 / A3** Scheduled flooring to continue under casework.
30. **SHEET A601** Add Alternate #1 description and box, to MATCH A602 and A603.
31. **SHEET A711** Delete B1/A711 and add Sketch SK-A-006.
32. **SHEETS A711 and A712 Keyed Finish Note 1** Delete “2” MARBLE THRESHOLD. SEE FINISH SCHEDULE. REFER TO A1/A502.” and add “SCHLUTER KERDI-LINE DRAIN. SEE SHEET A502.”
33. **SHEETS A711 and A712 Keyed Finish Notes** Delete keyed note 3
34. **SHEET M102** See the attached revised drawing. This drawing shows reworking one exhaust chase from EF-1 and connecting it to EF-2, and reworking a second exhaust chase from EF-1 and connecting it to EF-3. This work will be included in the Base Bid. The Insulation work as described for Alternate Number 3 will remain as an alternate. Some exhaust ductwork has joints that have not been sealed. Sealing any unsealed ductwork shall be included under Alternate Number 3.

35. **SHEET P101** See the attached sketch, SK-P-001. This sketch shows the deletion of one floor drain in the room and one in the shower for the Toilet Type D. Instead a linear drain will be installed by the tile installer and the plumbing contractor will have one connection point.
36. **SHEET P200** See the attached sketch, SK-P-002. This sketch shows the connection point of the waste line for the water closets to be after a new long sweep elbow. Due to addition of furring channels and tolerances in existing walls, the rough in dimension for the new water closets will not allow the reuse of the existing sweeps.

**V. Prior Approvals**

NOT USED.

END OF ADDENDUM ONE



**University of South Carolina  
USC Preston College – Bathroom & Flooring Renovations  
Project Number: H27-6086-SG  
Mandatory Pre-Bid Conference**

**February 18, 2013 @ 10:00 AM, 743 Greene Street, Columbia, SC 29208, Conf. Room 53**

**ATTENDEE'S NAME**

**COMPANY NAME & MAILING ADDRESS**

CHLISSE INAR

PENN CONTRACTING LLC  
P.O. Box 204  
Balkentine SC 29002  
PHONE# 803 407 9724  
FAX# 803 781 4142  
EMAIL BOB @ PENN CONTRACTING.COM

Lee Hammersla

Hammer Construction LLC  
785 Hampton Creek Way  
Columbia, S.C. 29209  
PHONE# 803-783-7033  
FAX# 803-783-7035  
EMAIL Lee@HammerConstructionCompany.com

Patby Alexander

Pyramid Contracting LLC  
1108-A LYLES LANE  
12mo, SC 29063  
PHONE# 803.732.2050  
FAX# 803.732.6881  
EMAIL Wade @ pyramidcontracting.com

Brian Huckleby

Best Pine Construction Inc  
105A Easy St  
Kingsland GA 31548  
PHONE# 912-576-5825  
FAX# 912-576-7189  
EMAIL Jer @ best pine Inc.com

**Make sure to include your company name (on this form) as it is registered with LLR.  
Please print clearly.**

**It is the contractor's responsibility to check USC's website for any updates, addendum,  
etc. We do not email these items.**



**University of South Carolina  
 USC Preston College – Bathroom & Flooring Renovations  
 Project Number: H27-6086-SG  
 Mandatory Pre-Bid Conference**

**February 18, 2013 @ 10:00 AM, 743 Greene Street, Columbia, SC 29208, Conf. Room 53**

**ATTENDEE'S NAME**

**COMPANY NAME & MAILING ADDRESS**

Kenneth Smith

Gibraltar Const. Co.  
42 Hudson St. # 107  
Annapolis, md. 21401  
**PHONE#** 410-573-1000  
**FAX#** 410-573-1004  
**EMAIL** Kendebl1@embagmail.com

Jay Derrick

Buchanan Construction Services Inc  
PO BOX 6782  
Columbia SC 29260  
**PHONE#** 803-695-2123  
**FAX#** 803-695-2124  
**EMAIL** dbuchanan@bixhananconstruction  
services.com

Laura Dennison

Palmetto Constr. Group, LLC  
2265 Clements Ferry Rd, Suite 204  
Charleston, SC 29492  
**PHONE#** 843-971-7156  
**FAX#**  
**EMAIL** jay@pcg.llc

JAMES SHERRY

USC Dir. CONSTRUCTION & RENOVATION  
FOR HOUSING AND STUDENT AFFAIRS  
**PHONE#** 777-5719  
**FAX#**  
**EMAIL** JSHERRY@MAILBOX.SC.EDU

**Make sure to include your company name (on this form) as it is registered with LLR.  
 Please print clearly.**

**It is the contractor's responsibility to check USC's website for any updates, addendum,  
 etc. We do not email these items.**





University of South Carolina  
USC Preston College – Bathroom & Flooring Renovations  
Project Number: H27-6086-SG  
Mandatory Pre-Bid Conference

February 18, 2013 @ 10:00 AM, 743 Greene Street, Columbia, SC 29208, Conf. Room 53

ATTENDEE'S NAME

COMPANY NAME & MAILING ADDRESS

Donnie Gaulton

Cullum Const. Inc.  
P.O. Box 40368  
Charleston, S.C. 29423  
PHONE# 843-554-6645  
FAX# 843-747-9969  
EMAIL GaultonJ@culluminc.com

Mike Herndon

Weber Construction Co. Inc.  
PO Box 508  
Ballentine SC 29002  
PHONE# 781-0473  
FAX# 781-0495  
EMAIL mherndonweberco@bellsouth.net

Kirsten Tyler

Tyler Construction Group, Inc.  
P.O. Box 25037  
Columbia, SC 29224  
PHONE# 803-805-1409  
FAX# 803-805-1415  
EMAIL ktyler@tyler-construction.com

Lee Bedenbaugh

Core Construction  
PO Box 2156  
West Columbia, SC 29171  
PHONE# 803 799-8788  
FAX# 803 799-0388  
EMAIL lee@coreconstructionsc.com

**Make sure to include your company name (on this form) as it is registered with LLR.  
Please print clearly.**

**It is the contractor's responsibility to check USC's website for any updates, addendum,  
etc. We do not email these items.**





**University of South Carolina  
 USC Preston College – Bathroom & Flooring Renovations  
 Project Number: H27-6086-SG  
 Mandatory Pre-Bid Conference**

**February 18, 2013 @ 10:00 AM, 743 Greene Street, Columbia, SC 29208, Conf. Room 53**

**ATTENDEE'S NAME**

**COMPANY NAME & MAILING ADDRESS**

Julith Stephens

C5P

**PHONE#**

**FAX#**

**EMAIL** jstephens@compass5partners.com

BRANDON BENZING

COMPASS 5 PARTNERS

1329 STATE STREET

CAYLE, SC 29033

**PHONE#** 765-0838

**FAX#**

**EMAIL** bbenzing@compass5partners.com

Will Allen

Compass 5 Partners

**PHONE#**

**FAX#**

**EMAIL** wallen@compass5partners.com

JOHN WILLIAMS

CASVON ELECTRICIANS, INC

**PHONE#** 779-7210

**FAX#** 252-0417

**EMAIL** jwilliams49@beltsouth.net

**Make sure to include your company name (on this form) as it is registered with LLR.  
 Please print clearly.**

**It is the contractor's responsibility to check USC's website for any updates, addendum,  
 etc. We do not email these items.**



**University of South Carolina  
 USC Preston College – Bathroom & Flooring Renovations  
 Project Number: H27-6086-SG  
 Mandatory Pre-Bid Conference**

**February 18, 2013 @ 10:00 AM, 743 Greene Street, Columbia, SC 29208, Conf. Room 53**

**ATTENDEE'S NAME**

**COMPANY NAME & MAILING ADDRESS**

Tj Russell

USC

**PHONE#**

**FAX#**

**EMAIL**

LAW POWERS

HUSS, INC.  
Po Box 12339  
CHARLESTON, SC 29412  
**PHONE#** 843.937-0023  
**FAX#** 843.937.0095  
**EMAIL** HUSSINC@BELLSOUTH.NET

Lekita Hargrave  
Kay Keisiel

USC  
743 Greene Street  
Columbia, SC 29208  
**PHONE#**  
**FAX#**  
**EMAIL**

ANA LASICH

USC HOUSING  
1520 DEVINE ST  
COLUMBIA SC 29205  
**PHONE#** 803.777.8007  
**FAX#**  
**EMAIL** lasich@sc.edu

**Make sure to include your company name (on this form) as it is registered with LLR.  
 Please print clearly.**

**It is the contractor's responsibility to check USC's website for any updates, addendum,  
 etc. We do not email these items.**



**University of South Carolina  
 USC Preston College – Bathroom & Flooring Renovations  
 Project Number: H27-6086-SG  
 Mandatory Pre-Bid Conference**

**February 18, 2013 @ 10:00 AM, 743 Greene Street, Columbia, SC 29208, Conf. Room 53**

**ATTENDEE'S NAME**

**COMPANY NAME & MAILING ADDRESS**

GARY PRINTER

PC Construction of Greenwood  
108 Enterprise Court.  
Greenwood SC. 29649

**PHONE#** 864-223-6274 Ext. 27

**FAX#** 864-223-9183

**EMAIL** estimating@pcconst.net

Troy Green

USC Facilities Dsgn + Construction  
243 Greene St  
Columbia, SC 29208

**PHONE#** 803-777-~~6252~~ 8256

**FAX#** 803-777-8739

**EMAIL** troy.green@fmc.sc.edu

**PHONE#**

**FAX#**

**EMAIL**

**PHONE#**

**FAX#**

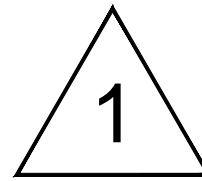
**EMAIL**

**Make sure to include your company name (on this form) as it is registered with LLR.  
 Please print clearly.**

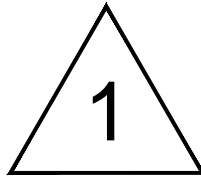
**It is the contractor's responsibility to check USC's website for any updates, addendum,  
 etc. We do not email these items.**



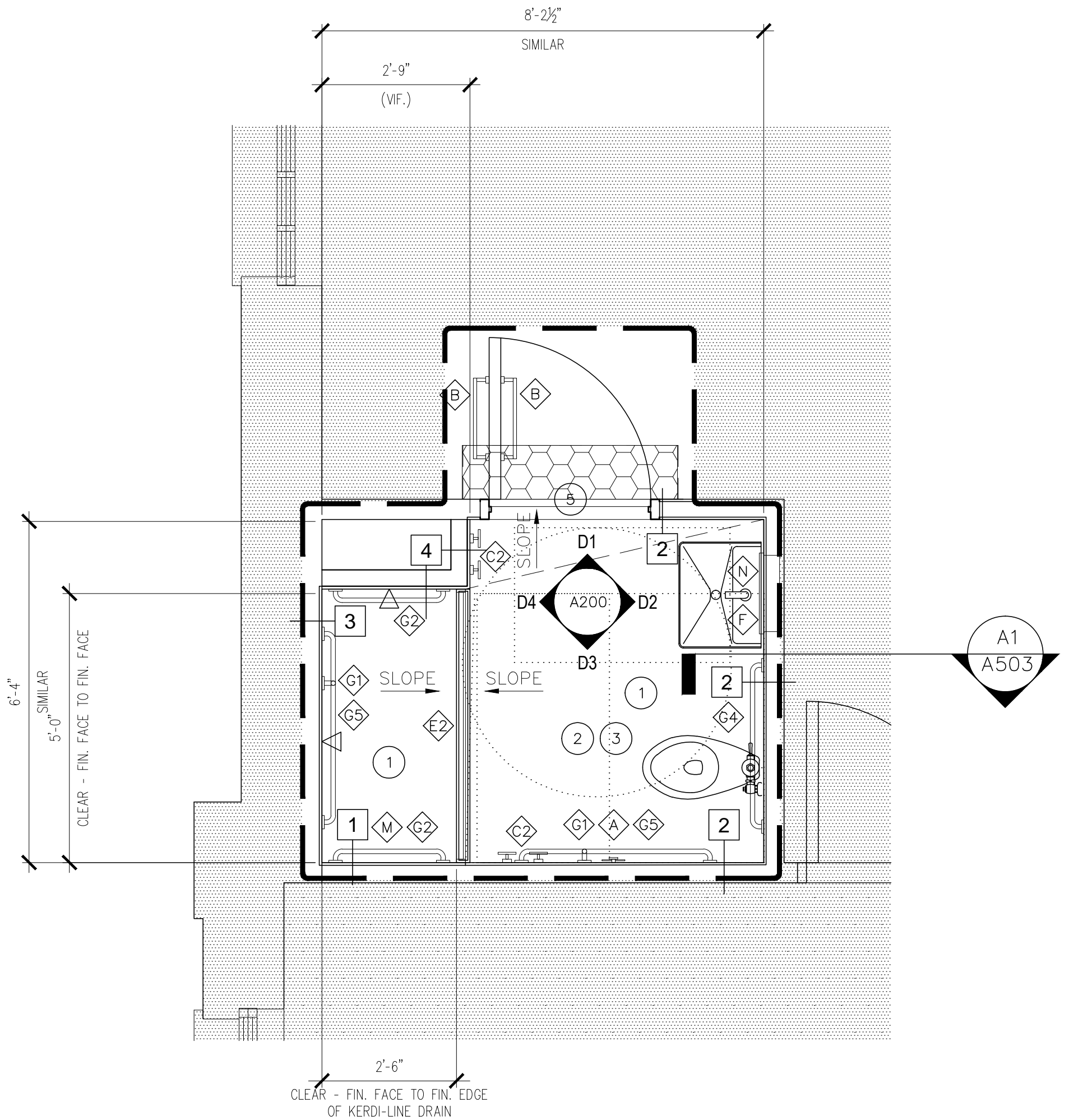
TOILET ROOM COUNT 3RD FLOOR		
TYPE	COUNT	BASE ROOM NUMBERS
A	20	301, 303, 305, 307, 309, 311, 318, 321, 322, 327, 330, 332, 334, 336, 338, 341, 346, 348, 351, 357
B	4	313, 324, 343, 353
C	2	317, 352
D	0	-
E	0	-
F	2	319, 350
G	0	NOT USED
H	0	-
TOTAL	28	



TOILET ROOM COUNT 2ND FLOOR		
TYPE	COUNT	BASE ROOM NUMBERS
A	19	201, 203, 205, 207, 209, 211, 218, 221, 222, 227, 230, 232, 234, 236, 238, 241, 244, 247, 253
B	4	213, 224, 243, 249
C	2	217, 248
D	0	-
E	0	-
F	2	219, 246
G	0	NOT USED
H	0	-
TOTAL	27	



TOILET ROOM COUNT 1ST FLOOR		
TYPE	COUNT	BASE ROOM NUMBERS
A	12	110, 114, 116, 122, 128, 129, 131, 137, 139, 141, 147, 149
B	4	112, 118, 133, 143
C	2	117, 142
D	2	115, 140
E	2	102, 108
F	0	-
G	0	NOT USED
H	1	151
TOTAL	23	

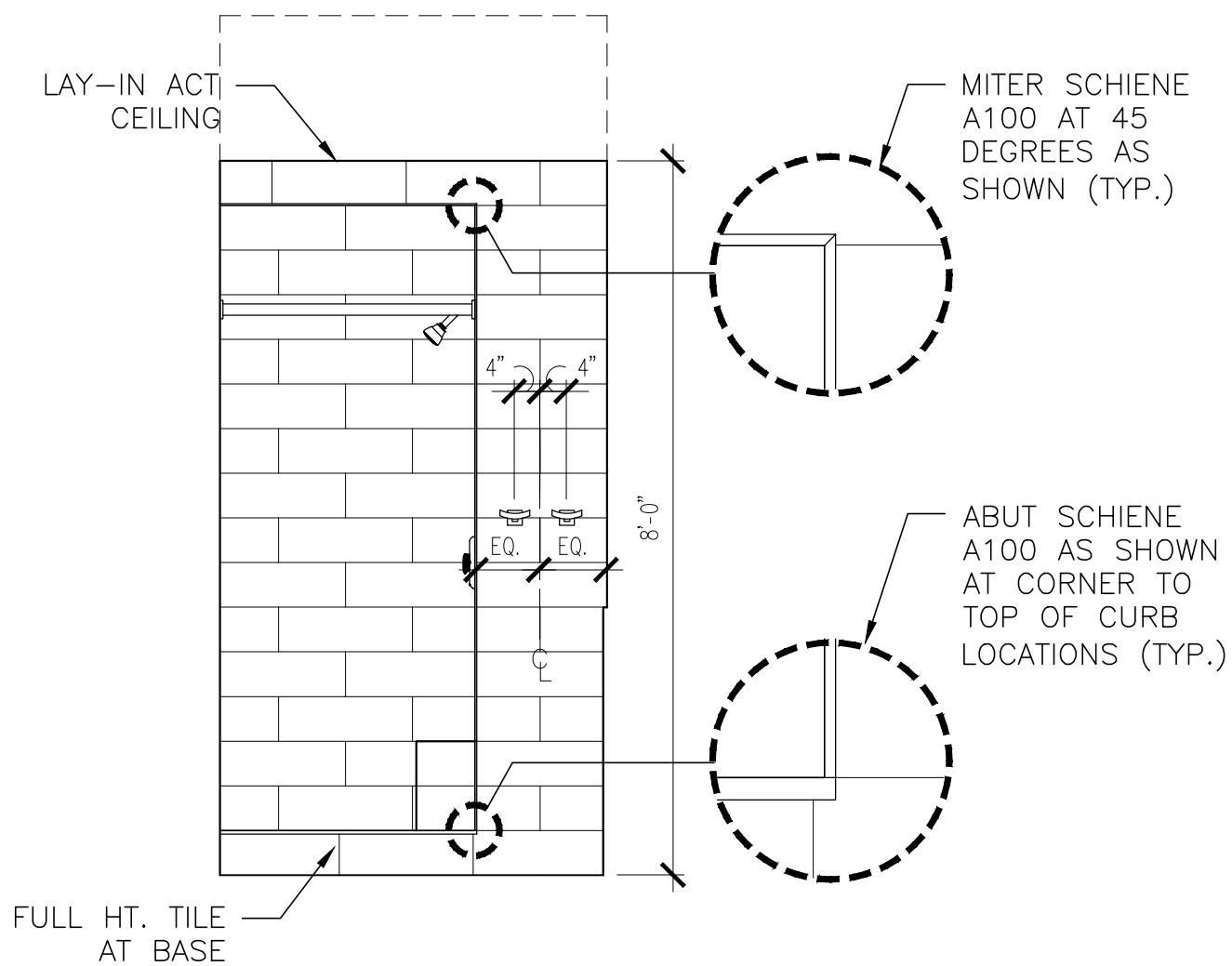


**B2**

**TYP. TOILET TYPE "D" RENO. (EXISTING ACCESSIBLE)**

REFER TO ACCESSIBLE SHOWER PLAN B1/A502

SCALE: 1/2" = 1'-0"  
 SHOWN: ROOM 115B  
 OPPOSITE HAND: 140B

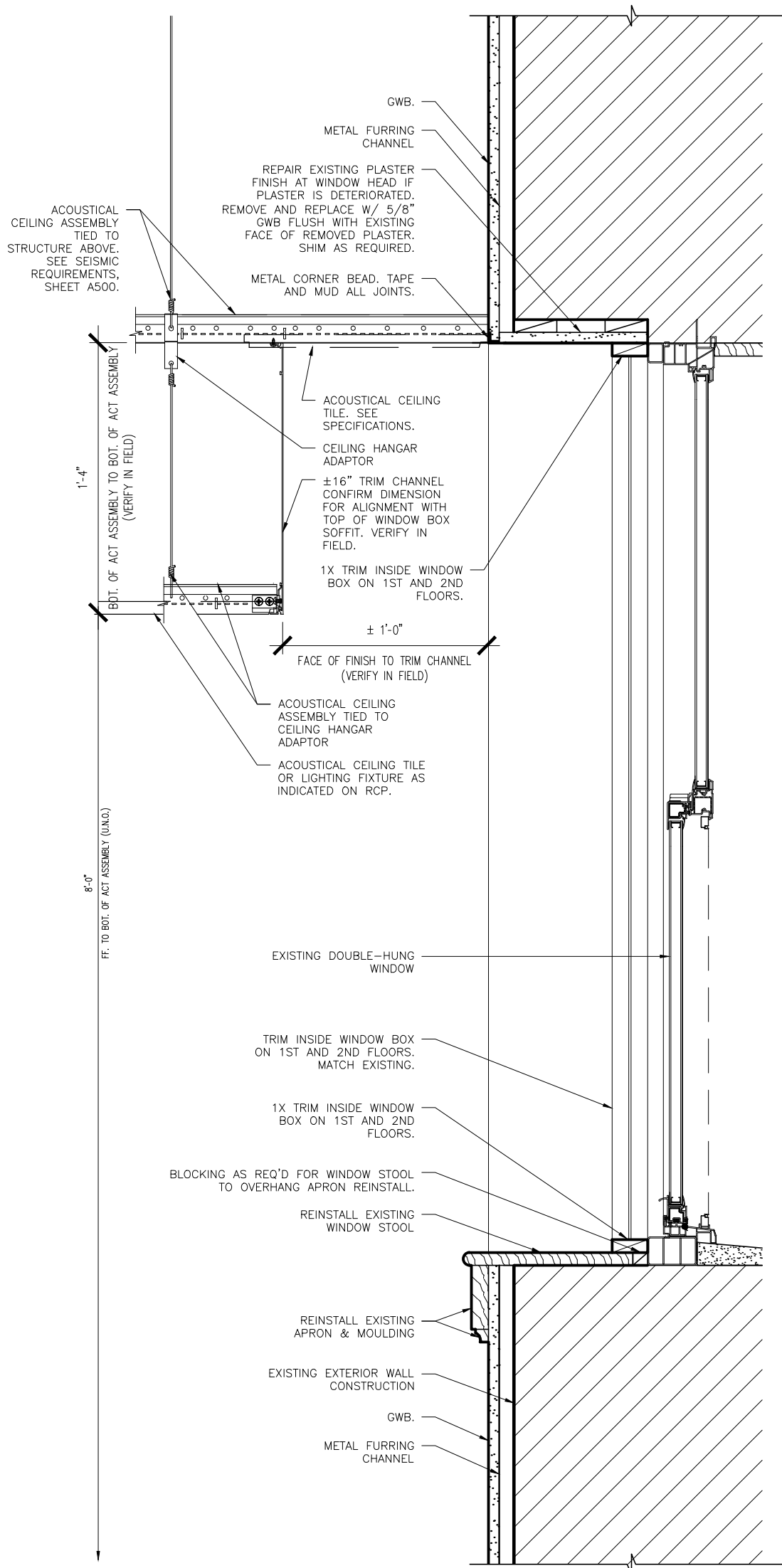


**A3**

**TOILET "A" INT. ELEV.**

SCALE: 1/2" = 1'-0"  
 SHOWN: ROOM 122A

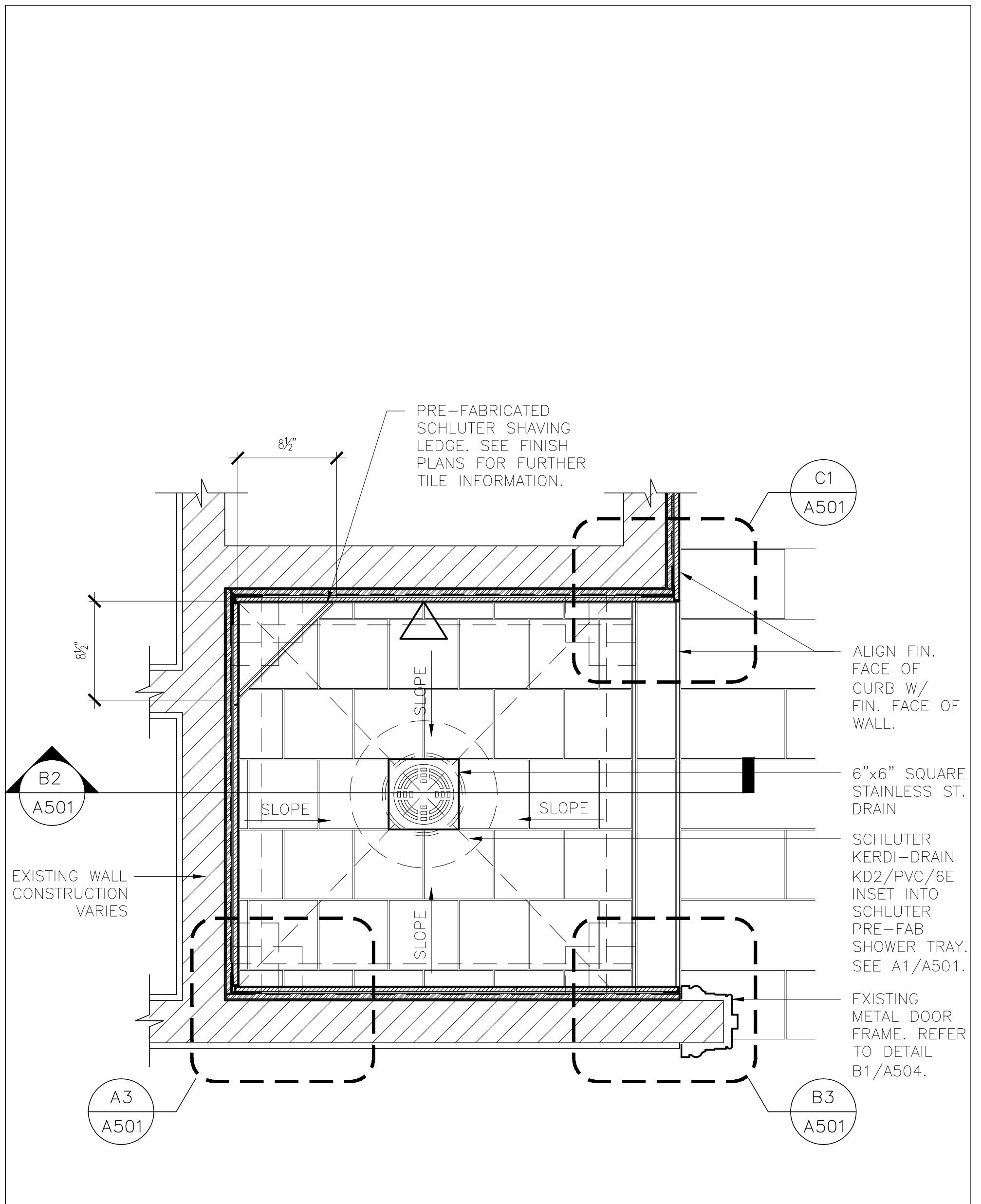




# CEILING DETAIL AT WINDOW SOFFIT

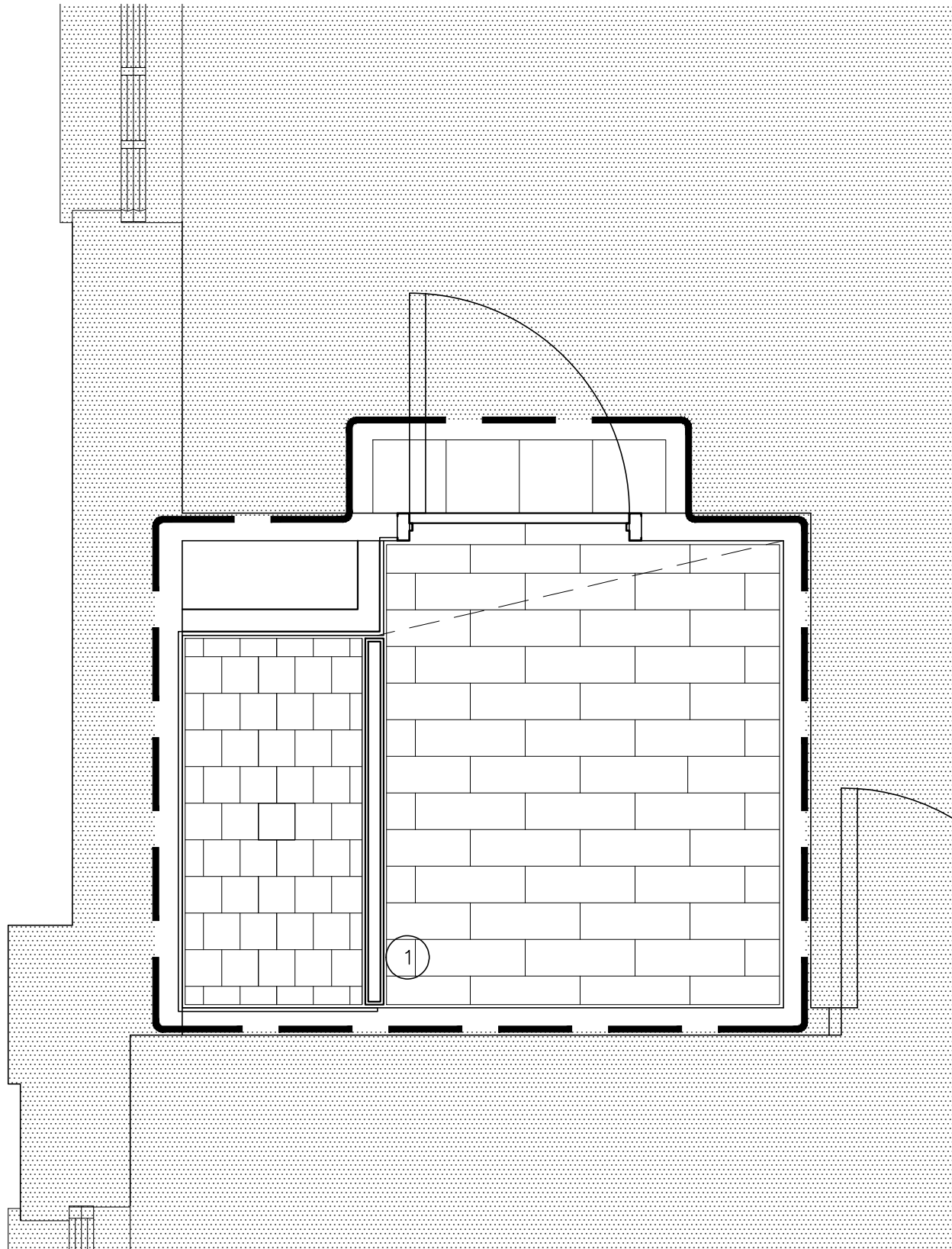
A1

SCALE: 1 1/2" = 1'-0"



**B1** TYP. ENLARGED SHOWER PLAN

SIMILAR SHOWER PLAN FOR TYPES "A, B, C & F" SCALE: 1 1/2" = 1'-0"

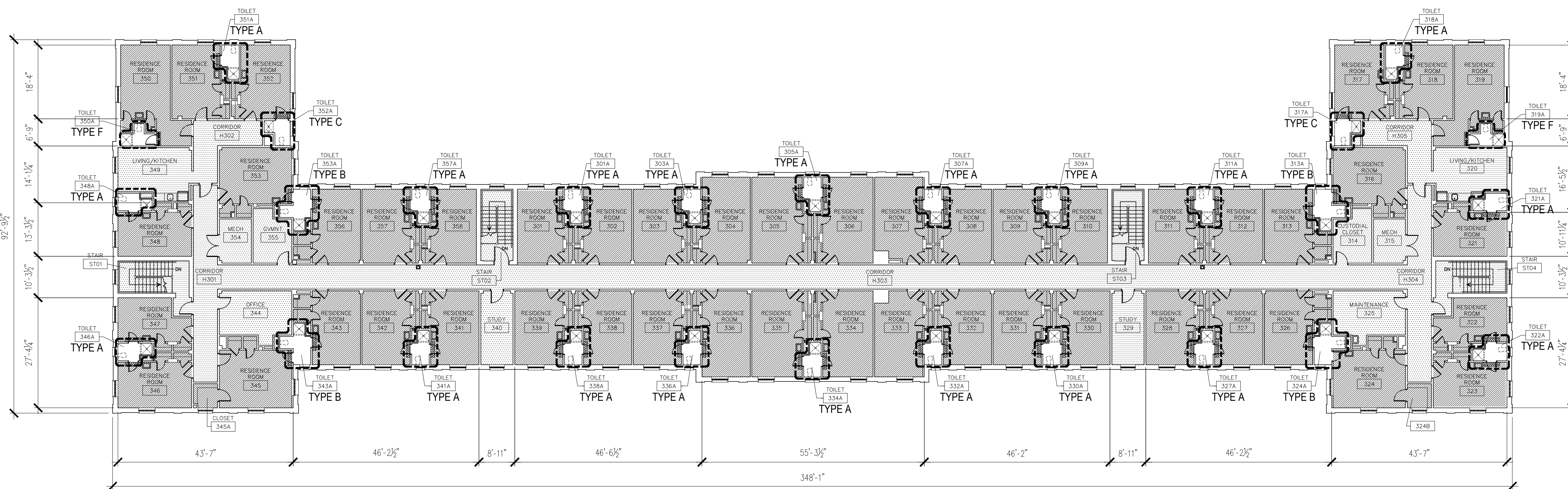


B2

## TYP. TOILET TYPE "D" FINISH PLAN

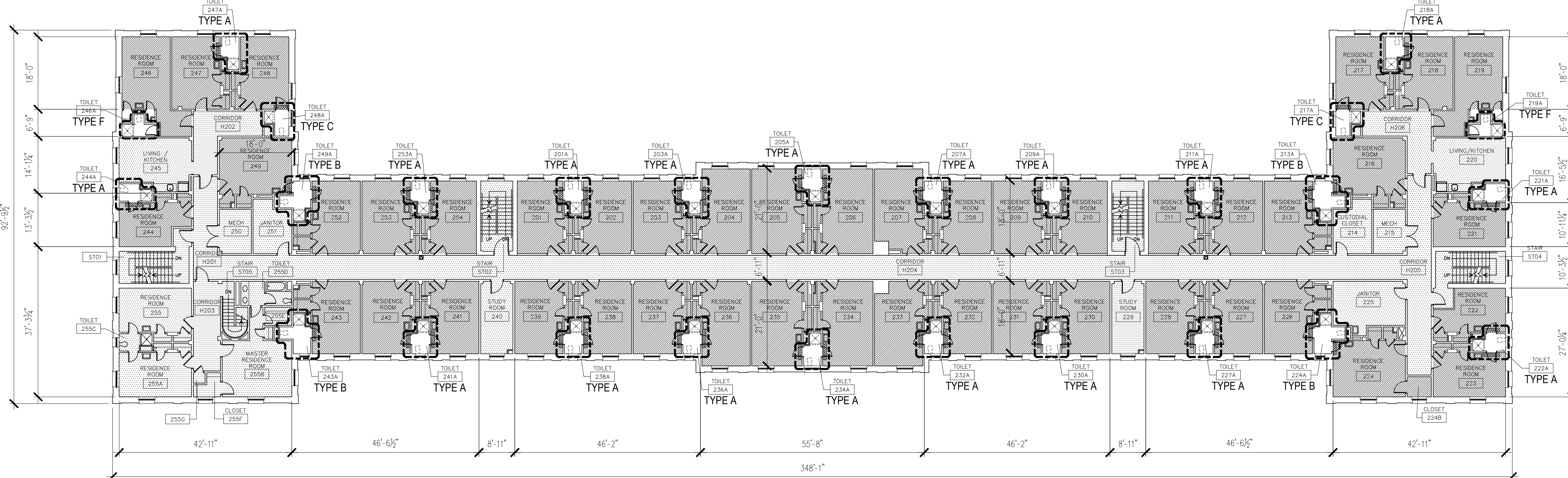
SCALE: 1/2" = 1'-0"  
SHOWN: ROOM 115B  
OPPOSITE HAND: 140B





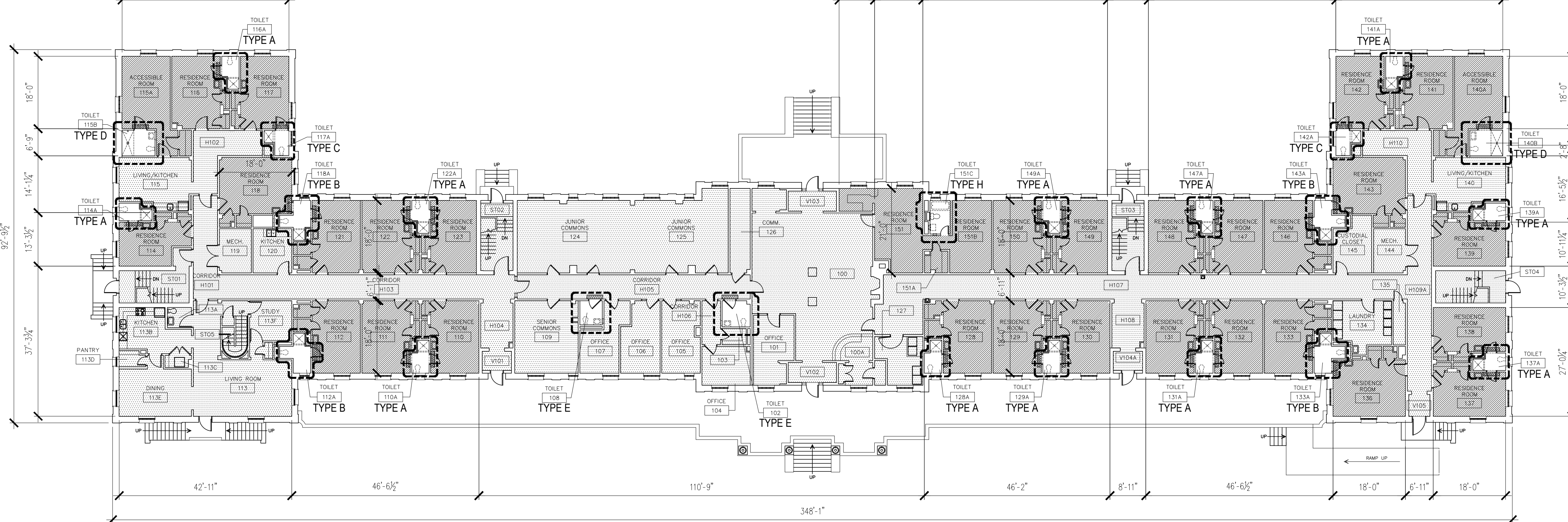
**C1** 3RD FLOOR OVERALL DEMOLITION PLAN

SCALE: 1/16" = 1'-0"



**B1** 2ND FLOOR OVERALL DEMOLITION PLAN

SCALE: 1/16" = 1'-0"



**A1** 1ST FLOOR OVERALL DEMOLITION PLAN

SCALE: 1/16" = 1'-0"

**DEMOLITION NOTES**

- EXISTING DOORS, FRAMES, HARDWARE, AND WINDOWS TO REMAIN UNLESS NOTED OTHERWISE.
- REFER TO ENLARGED TYPICAL TOILET PLANS FOR DEMOLITION IN ALL TOILET ROOMS. SCOPE INCLUDES REMOVAL OF SHOWER ENCLOSURE, FLOORING, PLASTER, DRYWALL, AND RENOVATED MATERIALS TO BLOCK/BRICK SUBSTRATE, AND CEILING COMPLETE. COORDINATE WITH MECHANICAL, ELECTRICAL, AND PLUMBING.
- REMOVE TRIM AT ALL WINDOWS ON FIRST AND SECOND FLOORS. REFER TO DETAILS ON SHEET A500.
- REFER TO ALTERNATE #1 FOR COMPREHENSIVE REPLACEMENT OF FLOORING IN RESIDENCE ROOM, SHEET AD100 & AD101.
- REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR MEP WORK AND COORDINATION.

**PROTECTION OF EXISTING**

- PROVIDE AND MAINTAIN 6 MIL POLY BARRIER AND 1/4" MASONITE PANELS (OR OTHER METHOD AS APPROVED BY ARCHITECT) TO PROTECT EXISTING INSTALLED FINISHES (FLOOR, WALL AND CEILING) COMPLETE ON ALL PATHWAYS FROM TOILET ROOM WORK AREAS TO DUMPSTERS.

**ALTERNATE #1**

- REMOVE FINISH VCT LAYER(S) AND MASTIC TO SUBFLOOR AT RESIDENCE ROOM AND ACCESSIBLE RESIDENCE ROOMS. AREA OF WORK INCLUDES CLOSETS.
  - REMOVE SHOE MOLDING.
  - PROVIDE 18" LUALUN UNDERLAYMENT.
  - PROVIDE LVT #1: MANNINGTON NATURE'S PATH SELECT CENTURY CHERRY - SPICY OILER 12151 5X48" PLANKS INSTALLED PARALLEL TO CORRIDOR ENTRY THRESHOLD.
  - REPLACE DOOR THRESHOLD AT CORRIDOR ENTRY DOOR TO RESIDENCE ROOM FOR 10 LOCATIONS TO BE SELECTED BY ARCHITECT. PROVIDE ALUMINUM 1" CLAMHELL THRESHOLD.
  - PROVIDE SHOE MOULDING COMPLETE. PRIME AND PAINT SHOE MOULD TO INCLUDE BASE BOARDS.
- SEE AD101, A101, B1/A504, A601, A602, A603 FOR WORK INCLUDED IN THIS ALTERNATE. SEE SPECIFICATIONS

**TOILET ROOM COUNT 3RD FLOOR**

TYPE	COUNT	BASE ROOM NUMBERS
A	20	301, 303, 305, 307, 309, 311, 318, 321, 322, 327, 330, 332, 334, 336, 338, 341, 346, 348, 351, 357
B	4	313, 324, 343, 353
C	2	317, 352
D	0	-
E	0	-
F	2	319, 350
G	0	NOT USED
H	0	-
TOTAL	28	

**TOILET ROOM COUNT 2ND FLOOR**

TYPE	COUNT	BASE ROOM NUMBERS
A	19	201, 203, 205, 207, 209, 211, 218, 221, 222, 227, 230, 232, 234, 236, 238, 241, 244, 247, 253
B	4	213, 224, 243, 249
C	2	217, 248
D	0	-
E	0	-
F	2	219, 246
G	0	NOT USED
H	0	-
TOTAL	27	

**TOILET ROOM COUNT 1ST FLOOR**

TYPE	COUNT	BASE ROOM NUMBERS
A	12	110, 114, 116, 122, 128, 129, 131, 137, 139, 141, 147, 149
B	4	112, 118, 133, 143
C	2	117, 142
D	2	115, 140
E	2	102, 108
F	0	-
G	0	NOT USED
H	1	151
TOTAL	23	

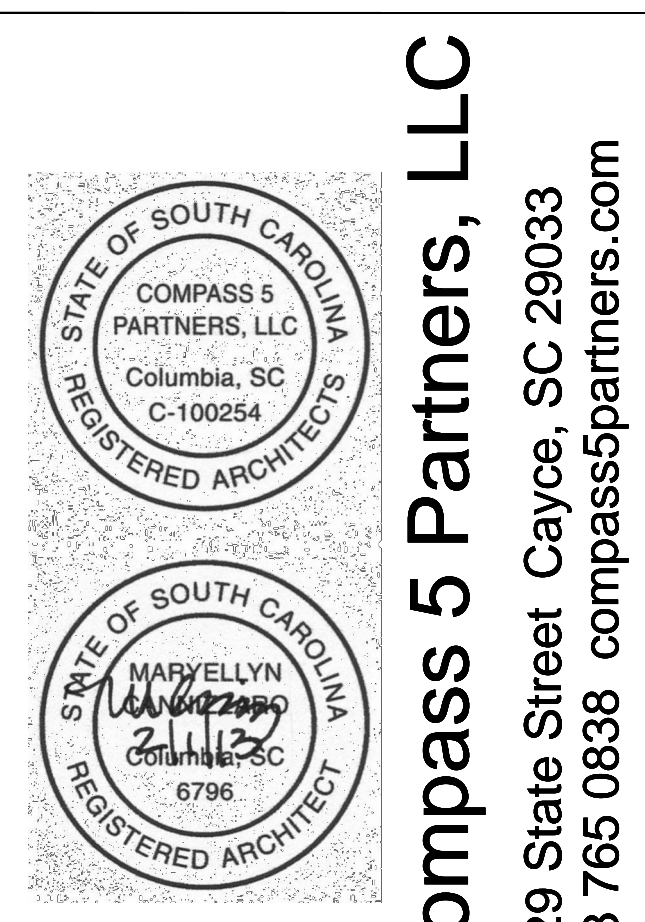
**GENERAL DEMOLITION NOTES**

- BEFORE BEGINNING CONSTRUCTION OR DEMOLITION, THE CONTRACTOR SHALL TAKE FIELD MEASUREMENTS AND VERIFY EXISTING CONDITIONS, COMPARE RESULTS WITH INFORMATION GIVEN IN THE CONTRACT DOCUMENTS AND REPORT INCONSISTENCIES TO THE OWNER & ARCHITECT IMMEDIATELY.
- THE EXTENT OF DEMOLITION INDICATED IS BASED ON RECORD DRAWINGS PROVIDED BY THE OWNER AND FIELD OBSERVATIONS. ANY DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THOSE INDICATED ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNER AND ARCHITECT AS SOON AS DISCREPANCIES ARE DISCOVERED.
- THIS DRAWING SHOWS THE GENERAL EXTENT OF DEMOLITION TO BE PERFORMED, ALL ITEMS DASHED ARE TO BE REMOVED COMPLETE, EVEN IF REMOVAL EXTENDS BEYOND THE DESIGNATED SPACE AND/OR PROJECT BOUNDARY, CONTRACTOR SHALL INCLUDE ALL DEMOLITION, CUTTING AND PATCHING REQUIRED FOR NEW CONSTRUCTION. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DEMOLITION PLANS FOR ADDITIONAL ITEMS TO BE REMOVED OR RELOCATED.
- REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING FOR DEMOLITION AND COORDINATION.
- REFER TO PROJECT MANUAL FOR SITE ACCESS, DEBRIS REMOVAL AND SAFETY PRECAUTIONS.
- REFER TO PROJECT MANUAL FOR OWNER REQUIREMENTS FOR UTILITY OUTAGES, CONTRACTOR SHALL COORDINATE AND SCHEDULE ALL INTERRUPTION OF UTILITIES AND/OR DAILY OPERATIONS WITH THE OWNER IN WRITING.
- DEMOLITION WORK WHICH REQUIRES ACCESS TO OCCUPIED SPACES OUTSIDE OF THE PROJECT AREA SHALL BE SCHEDULED WITH THE OWNER. REFER TO PROJECT MANUAL FOR WRITTEN NOTICE REQUIREMENTS.
- IF THE CONTRACTOR ENCOUNTERS MATERIAL BELIEVED TO BE ASBESTOS OR LEAD, WORK SHALL IMMEDIATELY STOP IN THE AFFECTED AREA. THE CONDITION SHALL BE IMMEDIATELY REPORTED TO THE OWNER AND ARCHITECT IN WRITING. WORK IN THE AFFECTED AREA SHALL NOT BE RESUMED EXCEPT BY WRITTEN AGREEMENT BETWEEN THE OWNER AND CONTRACTOR IF THE MATERIAL IN QUESTION IS ASBESTOS OR LEAD AND HAS NOT BEEN DECLARED HARMLESS.
- THE CONTRACTOR SHALL INSPECT BOTH SIDES OF EXISTING WALLS, CEILING AND FLOOR ASSEMBLIES AND REPAIR/REPLACE AS REQUIRED TO MAINTAIN EXISTING RATINGS. REFER TO C100 LIFE SAFETY PLAN FOR LOCATIONS OF RATED WALLS AND SMOKE RESISTIVE CONSTRUCTION.
- THE CONTRACTOR SHALL COORDINATE NEW OPENINGS IN EXISTING WALLS OR FLOORS WITH APPLICABLE ELECTRICAL, MECHANICAL, PLUMBING, EQUIPMENT AND/OR PIPING DRAWINGS.
- THE CONTRACTOR IS TO SEAL ALL HOLES LEFT AFTER REMOVAL/REPLACEMENT OF PIPES, CONDUITS AND DUCTS ETC. WITH MATERIALS TO MATCH EXISTING CONSTRUCTION AND SEALANTS.
- ALL REMAINING MATERIALS ADJACENT TO AREAS OF DEMOLITION ARE TO BE LEFT NEATLY PATCHED, PAINTED AND REPAIRED TO MATCH EXISTING FINISHES. NOTE: FINISHES NEED TO EXTEND TO A LOGICAL STOPPING POINT I.E. CORNER, EDGE OF WALL, FLOOR, CEILING, ETC.
- WHERE EXISTING WALL OR FLOOR SYSTEMS ARE TO REMAIN AND ARE DISTURBED BY DEMOLITION, THEY SHALL BE REPAIRED AS REQUIRED TO MATCH ORIGINAL INTEGRITY AND ADJACENT CONSTRUCTION.
- ITEMS TO BE REMOVED OF SALVAGEABLE VALUE ARE TO REMAIN THE PROPERTY OF THE OWNER TO BE DISPOSED OF AT THEIR DISCRETION. ANY SALVAGEABLE ITEMS TO BE MAINTAINED MUST BE REMOVED FROM THE SITE. ITEMS TO REMAIN THE PROPERTY OF THE OWNER SHALL BE STORED ON-SITE BY THE CONTRACTOR AT THE OWNER'S DISCRETION.
- INTERIM FIRE-STOPPING IS TO BE PROVIDED FOR ALL ABANDONED OR NEWLY CREATED PENETRATIONS THROUGH THE EXISTING FLOOR SLAB OR STRUCTURAL DECK ABOVE AND SHALL BE MAINTAINED UNTIL PERMANENT FIRE-STOPPING IS IN PLACE. THE LOCATION AND QUANTITY ADDRESSED IN THESE NOTES SHALL BE GENERALLY INFERRED BASED ON THE CONTENT AND EXTENT OF WORK DEPICTED IN THE DRAWINGS AND SPECIFICATIONS.
- EXISTING FIRE-RATED ASSEMBLIES SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THIS PROJECT. REPAIR OF EXISTING HOLES, CRACKS OR OTHER BREACHES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. REPAIRS SHALL CONFORM TO THE APPROPRIATE UL RATED ASSEMBLY CONSISTENT WITH THE REQUIRED RATING IN THE AREA OF CONSTRUCTION AND/OR ADJACENT AREAS.
- ALL EXISTING ITEMS SCHEDULED TO REMAIN (ANY DISCIPLINE) WHICH ARE EXPOSED DUE TO DEMOLITION SHALL BE RELOCATED TO REMAIN COVERED BY FINISHED WORK.
- CONTRACTOR TO REMOVE ALL ABANDONED MATERIALS OR FIXTURES TO INCLUDE UNNECESSARY PIPING, DUCT, WIRING AND/OR CONDUIT COMPLETE, EVEN IF REMOVAL EXTENDS BEYOND THE DESIGNATED SPACE AND/OR PROJECT BOUNDARIES. THE LOCATION AND QUANTITY ADDRESSED IN THESE NOTES SHALL BE GENERALLY INFERRED BASED ON THE CONTENT AND EXTENT OF WORK DEPICTED IN THE DRAWINGS AND SPECIFICATIONS.
- AREAS SHOWING THE REMOVAL OF WALLS SHALL BE PROPERLY SHORED UP IF NECESSARY. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING WHICH AREAS ARE TO BE SHORED.
- REMOVE ALL EXISTING APPURTENANCES (TOWEL DISPENSERS, TOILETS ACCESSORIES, TOWEL RACKS, HOOKS, GRAB BARS, ETC.) IN THE AREA OF CONSTRUCTION AND TURN OVER TO THE OWNER.
- CONTRACTOR IS RESPONSIBLE FOR WRAPPING AND PROTECTING EXISTING FURNITURE, FURNITURE STORAGE TO BE IN LOCATIONS THAT DO NOT INTERFERE WITH MEANS OF EGRESS AND OTHER LIFE SAFETY PROVISIONS. REFER TO SPECIFICATIONS.
- RETRACT, WRAP, AND PROTECT IN PLACE ALL EXISTING WINDOW BLINDS COMPLETE.
- EXISTING TOILET ROOM SHAFTS TO REMAIN INTACT. SCOPE OF WORK DOES NOT INCLUDE COMPREHENSIVE UPGRADE TO SHAFTS BEYOND WORK ASSOCIATED WITH SHOWER VALVE, SHOWER HEAD, AND RELATED SYSTEMS REPLACEMENT.
- REFER TO SHEETS AD111 AND AD112 FOR ENLARGED DEMOLITION PLANS.

**LEGEND**

- AREA OF RENOVATION
- EXISTING AREA NOT IN SCOPE OF WORK (W/ EXCEPTION OF ACCESS REQUIRED FOR MEP/INFRASTRUCTURE ACCESS - REFER TO MEP).
- BASE BID - VCT/CARPET FLOOR REPAIR
- EXISTING CONSTRUCTION TO BE REMOVED/ALTERED.
- ALTERNATE #1

1



**Compass 5 Partners, LLC**  
1329 State Street, Cayce, SC 29033  
803 765 0838 compasspartners.com

University of South Carolina  
**Preston College Bathroom & Flooring Renovations**  
H27-6086-SG Columbia, SC

©2013 Compass 5 Partners, LLC  
Project Number: 1238 ULH

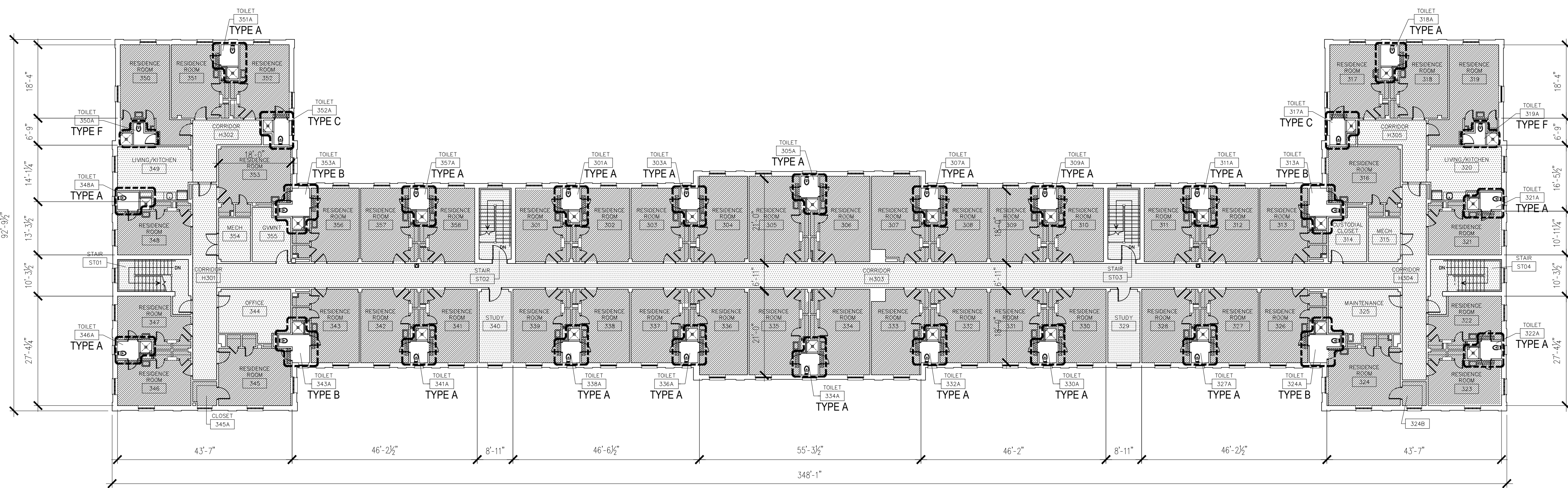
REVISIONS	
OSE SD SUBMITTAL	12/20/12
OSE CD SUBMITTAL	01/16/13
FOR BIDDING	01/24/13

**ALTERNATE #1 DEMOLITION PLANS**

Date: 01-24-13  
Drawn: BRB  
Checked: MEC

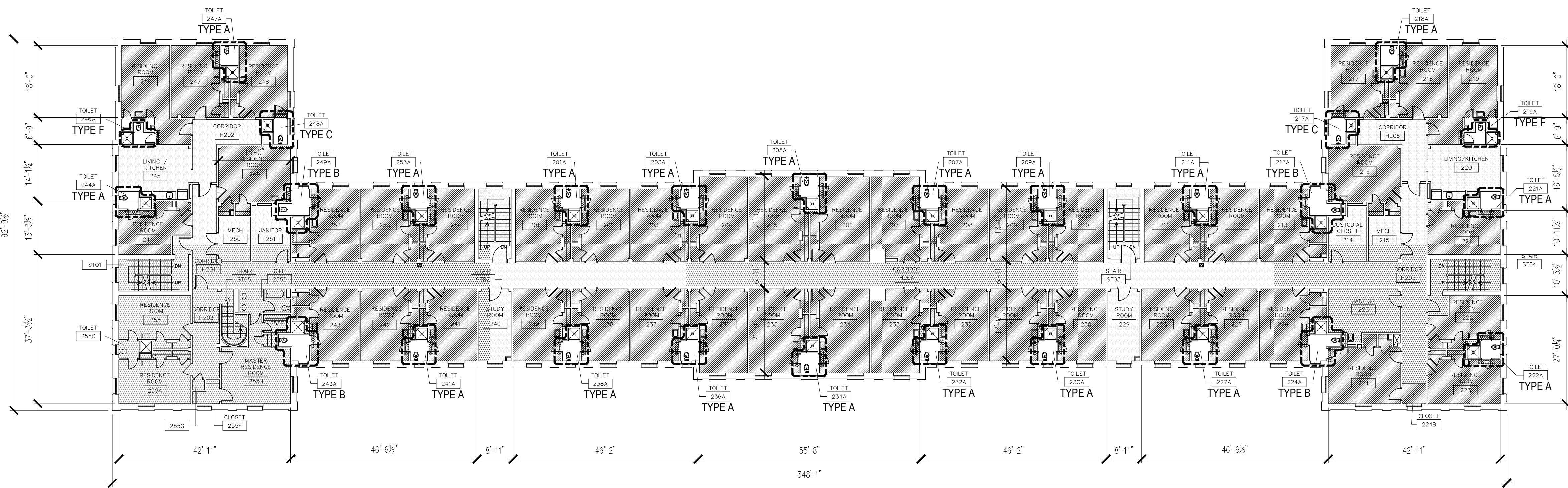
**AD101**





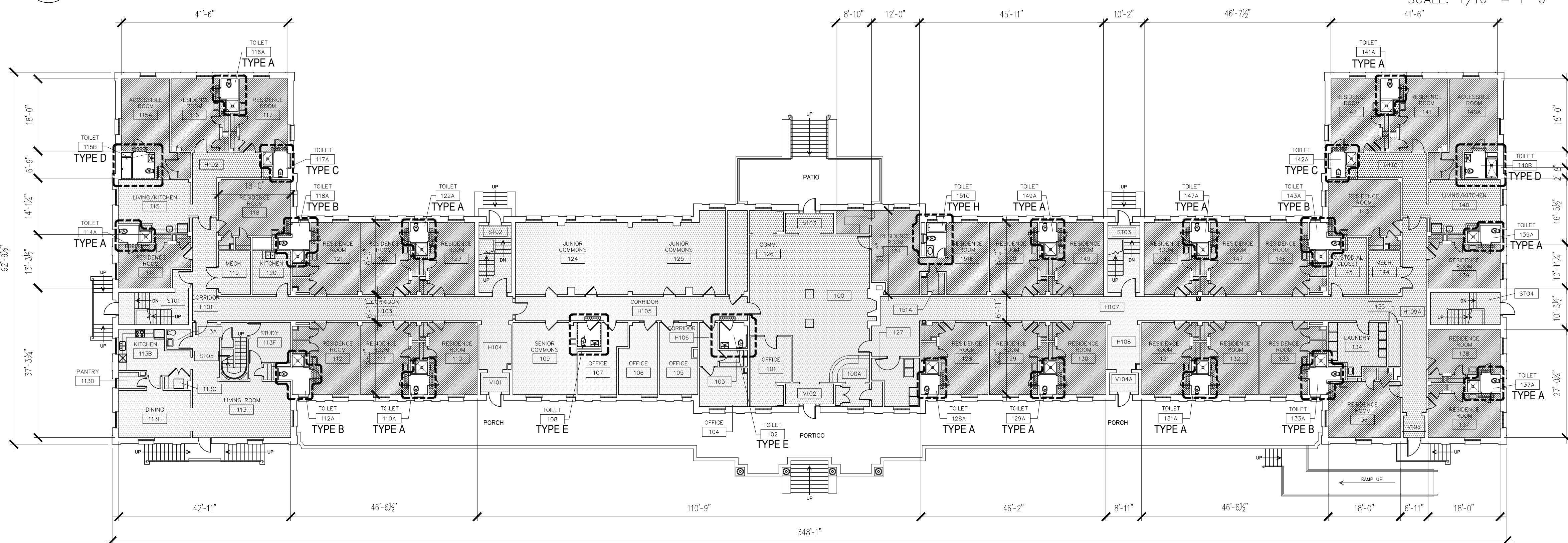
**C1** 3RD FLOOR OVERALL RENOVATION PLAN

SCALE: 1/16" = 1'-0"



**B1** 2ND FLOOR OVERALL RENOVATION PLAN

SCALE: 1/16" = 1'-0"



**A1** 1ST FLOOR OVERALL RENOVATION PLAN

SCALE: 1/16" = 1'-0"

**RENOVATION NOTES**

1. CONTRACTOR TO CLEAN AND RE-SEAT PROTECTED EXISTING BLINDS.
2. REFER TO INTERIOR ELEVATIONS FOR EXTENT OF CERAMIC TILE.
3. REFER TO ENLARGED TYPICAL TOILET PLANS FOR RENOVATION IN ALL TOILET ROOMS.
4. REPLACE TRIM AT ALL WINDOWS ON FIRST AND SECOND FLOORS. REFER TO DETAILS ON SHEET A500.
5. REFER TO ALTERNATE #1 FOR COMPREHENSIVE REPLACEMENT OF FLOORING IN RESIDENCE ROOM, SHEET AD100 & AD101.
6. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR FURTHER WORK AND COORDINATION.
7. REPAIR AND PATCH EXISTING WALLS WHERE ARCHITECTURAL, MECHANICAL OR ELECTRICAL ITEMS HAVE BEEN REMOVED.

**PROTECTION OF EXISTING**

1. PROVIDE AND MAINTAIN 6 MIL POLY BARRIER AND 1/4" MASONITE PANELS (OR OTHER METHOD AS APPROVED BY ARCHITECT) TO PROTECT EXISTING INSTALLED FINISHES (FLOOR, WALL, AND CEILING) COMPLETE ON ALL PATHWAYS FROM TOILET ROOM WORK AREAS TO DUMPSTERS.

**ALTERNATE #1**

1. REMOVE FINISH VCT LAYER(S) AND MASTIC TO SUBFLOOR AT RESIDENCE ROOM AND ACCESSIBLE RESIDENCE ROOMS. AREA OF WORK INCLUDES CLOSETS.
  2. REMOVE SHOE MOLDING.
  3. PROVIDE 1/8" LUALUN UNDERLAYMENT.
  4. PROVIDE LVT 1: MANNINGTON NATURE'S PATH SELECT CENTURY CHERRY - SPICY CIDER 12151 5"X48" PLANKS INSTALLED PARALLEL TO CORRIDOR ENTRY THRESHOLD.
  5. REPLACE DOOR THRESHOLD AT CORRIDOR ENTRY DOOR TO RESIDENCE ROOM FOR 10 LOCATIONS TO BE SELECTED BY ARCHITECT. PROVIDE ALUMINUM 1" CLAMHELL THRESHOLD.
  6. PROVIDE SHOE MOULDING COMPLETE. PRIME AND PAINT SHOE MOULD TO INCLUDE BASE BOARDS.
- SEE AD101, A101, B1/A504, A601, A602, A603 FOR WORK INCLUDED IN THIS ALTERNATE. SEE SPECIFICATIONS

**TOILET ROOM COUNT 3RD FLOOR**

TYPE	COUNT	BASE ROOM NUMBERS
A	20	301, 303, 305, 307, 309, 311, 318, 321, 322, 327, 330, 332, 334, 336, 338, 341, 346, 348, 351, 357
B	4	313, 324, 343, 353
C	2	317, 352
D	0	-
E	0	-
F	2	319, 350
G	0	NOT USED
H	0	-
TOTAL	28	

**TOILET ROOM COUNT 2ND FLOOR**

TYPE	COUNT	BASE ROOM NUMBERS
A	19	201, 203, 205, 207, 209, 211, 218, 221, 222, 227, 230, 232, 234, 236, 238, 241, 244, 247, 253
B	4	213, 224, 243, 249
C	2	217, 248
D	0	-
E	0	-
F	2	219, 246
G	0	NOT USED
H	0	-
TOTAL	27	

**TOILET ROOM COUNT 1ST FLOOR**

TYPE	COUNT	BASE ROOM NUMBERS
A	12	110, 114, 116, 122, 128, 129, 131, 137, 139, 141, 147, 149
B	4	112, 118, 133, 143
C	2	117, 142
D	2	115, 140
E	2	102, 108
F	0	-
G	0	NOT USED
H	1	151
TOTAL	23	

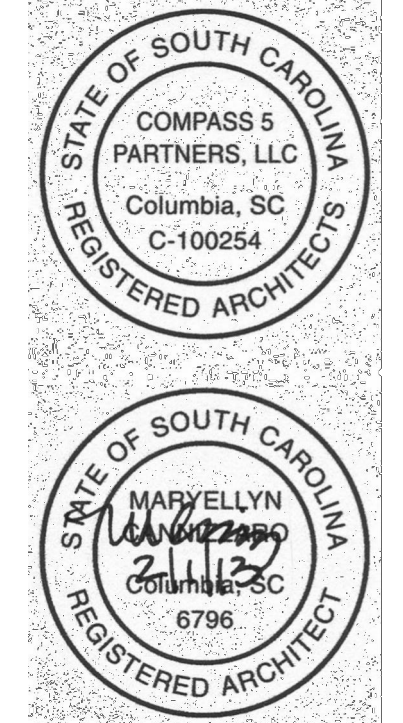
**GENERAL RENOVATION NOTES**

- A. PROVIDE A MINIMUM 16 GAUGE SHEET METAL BLOCKING FOR ALL WALL MOUNTED CABINETS, SHELVES, EQUIPMENT, ACCESSORIES, SOAP DISPENSERS, PAPER TOWEL DISPENSERS, AND RELATED ITEMS. COORDINATE WITH OWNER AND ARCHITECT FOR ALL SUPPLEMENTARY BLOCKING.
- B. CONTRACTOR TO COORDINATE WITH ALL EQUIPMENT VENDORS FOR ALL LOCATIONS OF BOXES, PIPES, CONDUITS, ETC. PRIOR TO COMMENCING WORK.
- C. COMPLETELY PATCH, TRIM, BUSH, REPAIR, AND REFINISH ANY DAMAGED OR IMPERFECT COLUMNS, SURFACES, OR SIMILAR CONDITIONS AFFECTED PRIOR TO, DURING, OR AS A RESULT OF CONSTRUCTION OR DEMOLITION.
- D. VERIFY EXISTING DIMENSIONS, CONDITIONS, AND CLEARANCES PRIOR TO THE SUBMISSION OF SHOP DRAWINGS.
- E. SEE FLOOR FINISH PLAN AND FINISH SCHEDULE FOR ADDITIONAL INFORMATION.
- F. COORDINATE WITH HVAC, PLUMBING, AND ELECTRICAL DOCUMENTS.
- G. EXISTING STRUCTURAL COLUMNS, BEAMS, FLOORS, AND FRAMING TO REMAIN IN PLACE THROUGHOUT CONSTRUCTION UNLESS OTHERWISE NOTED.
- H. REFER TO SHEET G100 FOR PARTITION TYPES, PARTITION DIMENSIONS, NOTES AND DETAILS.
- I. REFER TO SHEET A201 FOR STANDARD MOUNTING HEIGHTS.
- J. CASEWORK DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO FABRICATION AND INSTALLATION OF CASEWORK. SEE THE NOTES IN CASEWORK SCHEDULE FOR FURTHER DIMENSIONING NOTES REGARDING CASEWORK.
- K. REFER TO SHEETS A111 AND A112 FOR ENLARGED RENOVATION PLANS AND DIMENSIONS.

**LEGEND**

- AREA OF RENOVATION
- EXISTING AREA NOT IN SCOPE OF WORK (W/ EXCEPTION OF ACCESS REQUIRED FOR MEP/INFRASTRUCTURE ACCESS - REFER TO MEP).
- BASE BID - VCT/CARPET FLOOR REPAIR
- ALTERNATE #1

1



**Compass 5 Partners, LLC**  
 1329 State Street Cayce, SC 29033  
 803 765 0838 compasspartners.com

University of South Carolina  
**Preston College Bathroom & Flooring Renovations**  
 H27-6086-SG Columbia, SC

©2013 Compass 5 Partners, LLC  
 Project Number: 1238 ULH

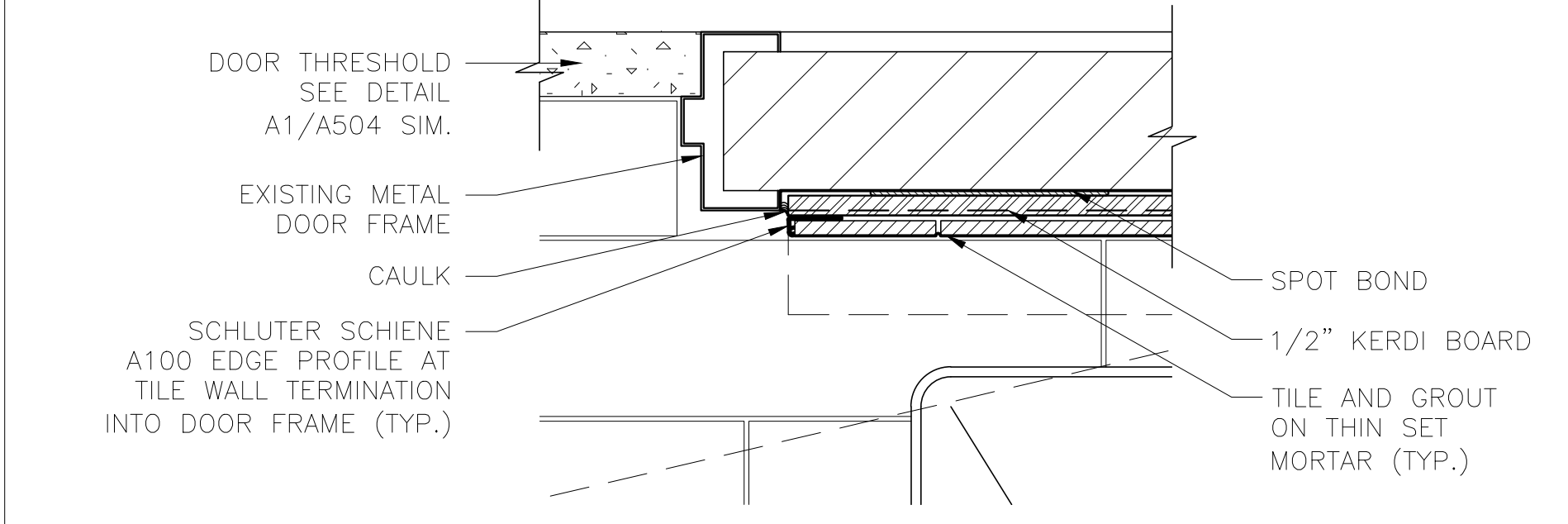
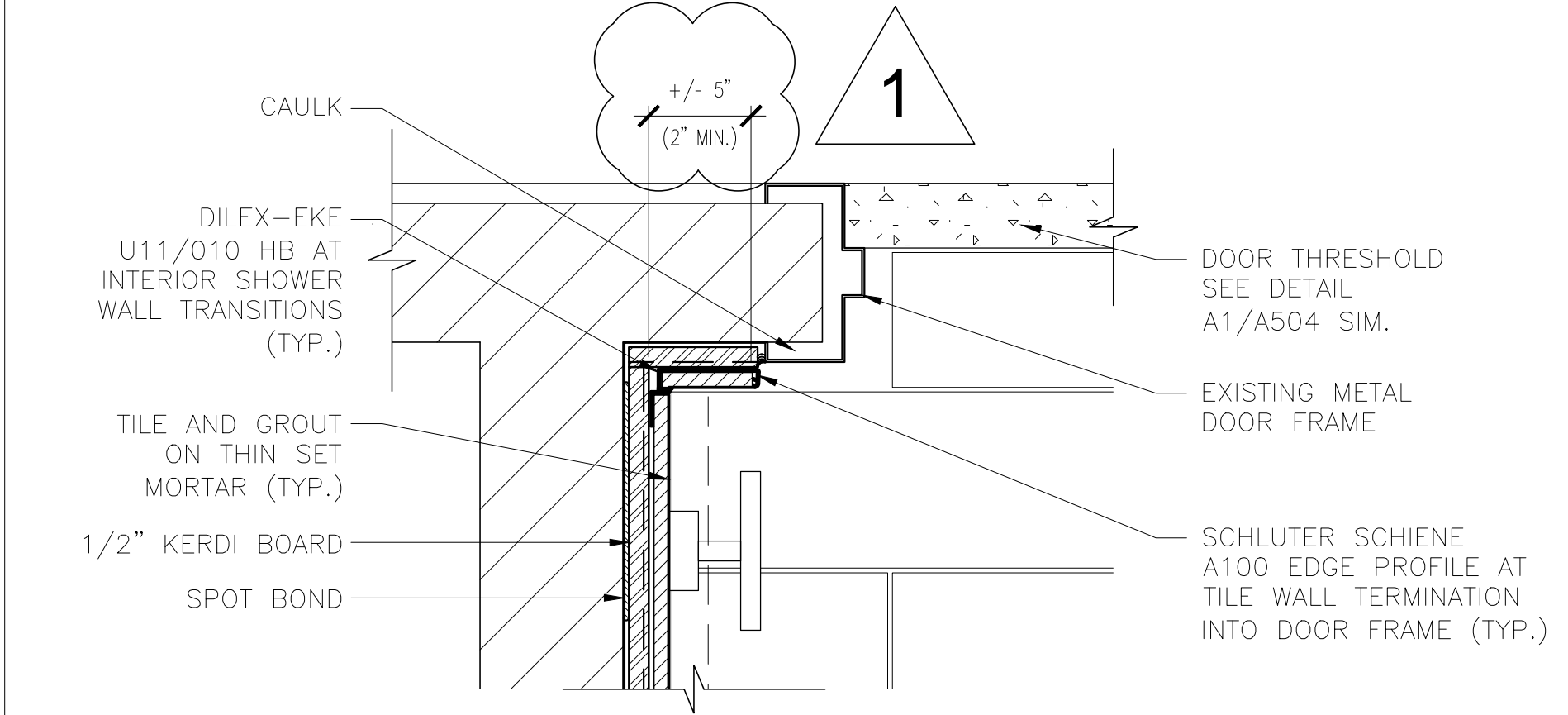
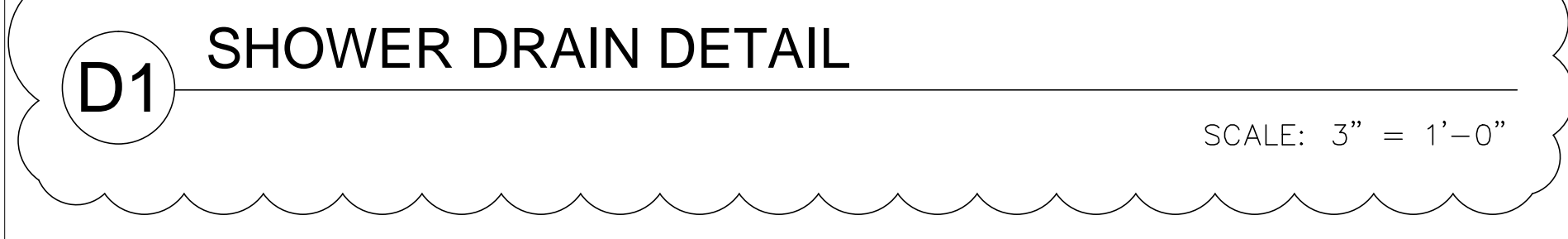
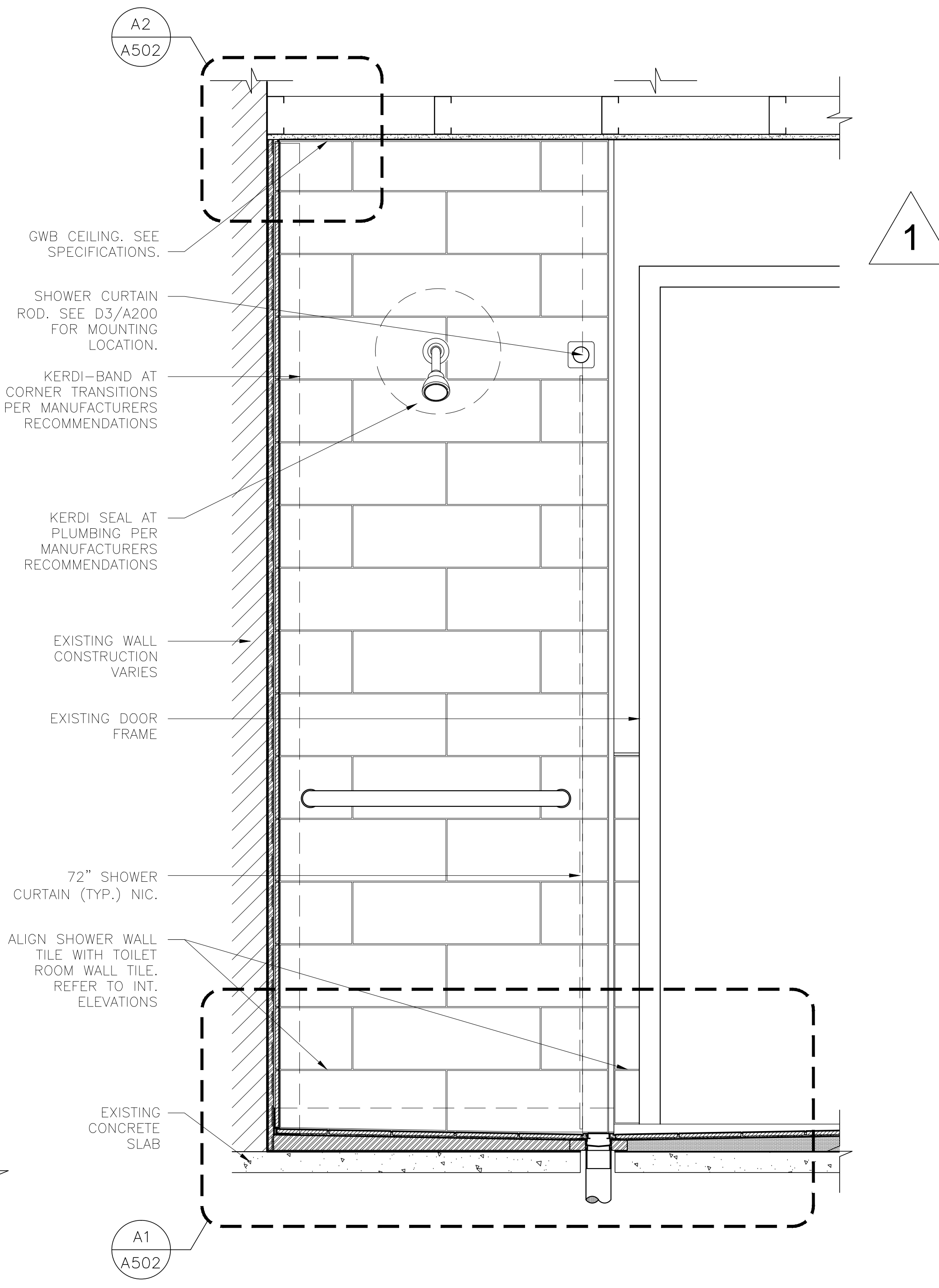
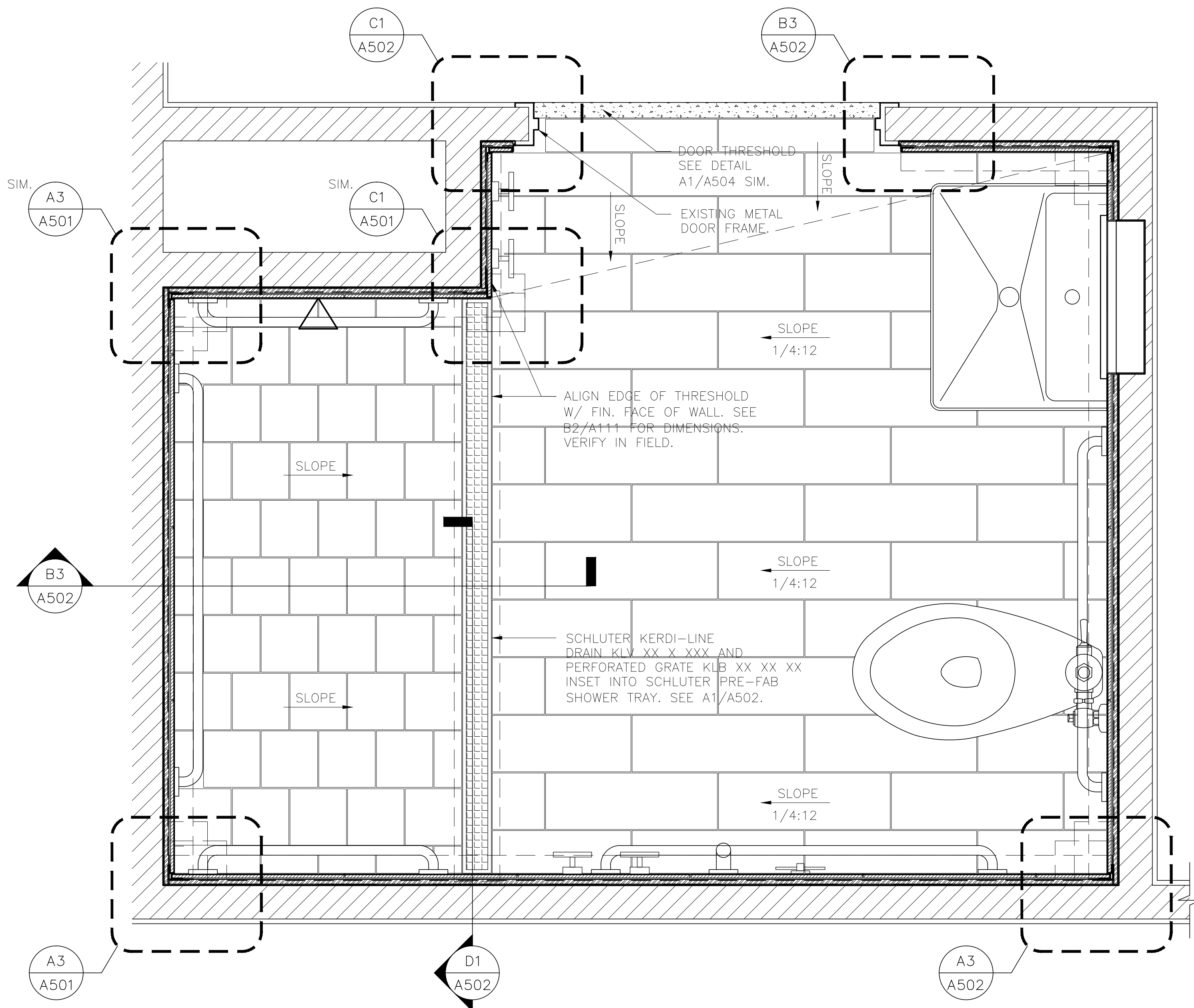
REVISIONS	
OSE SD SUBMITTAL	12/20/12
OSE CD SUBMITTAL	01/16/13
FOR BIDDING	01/24/13

**ALTERNATE #1 RENOVATION PLANS**

Date: 01-24-13  
 Drawn: BRB  
 Checked: MEC

**A101**





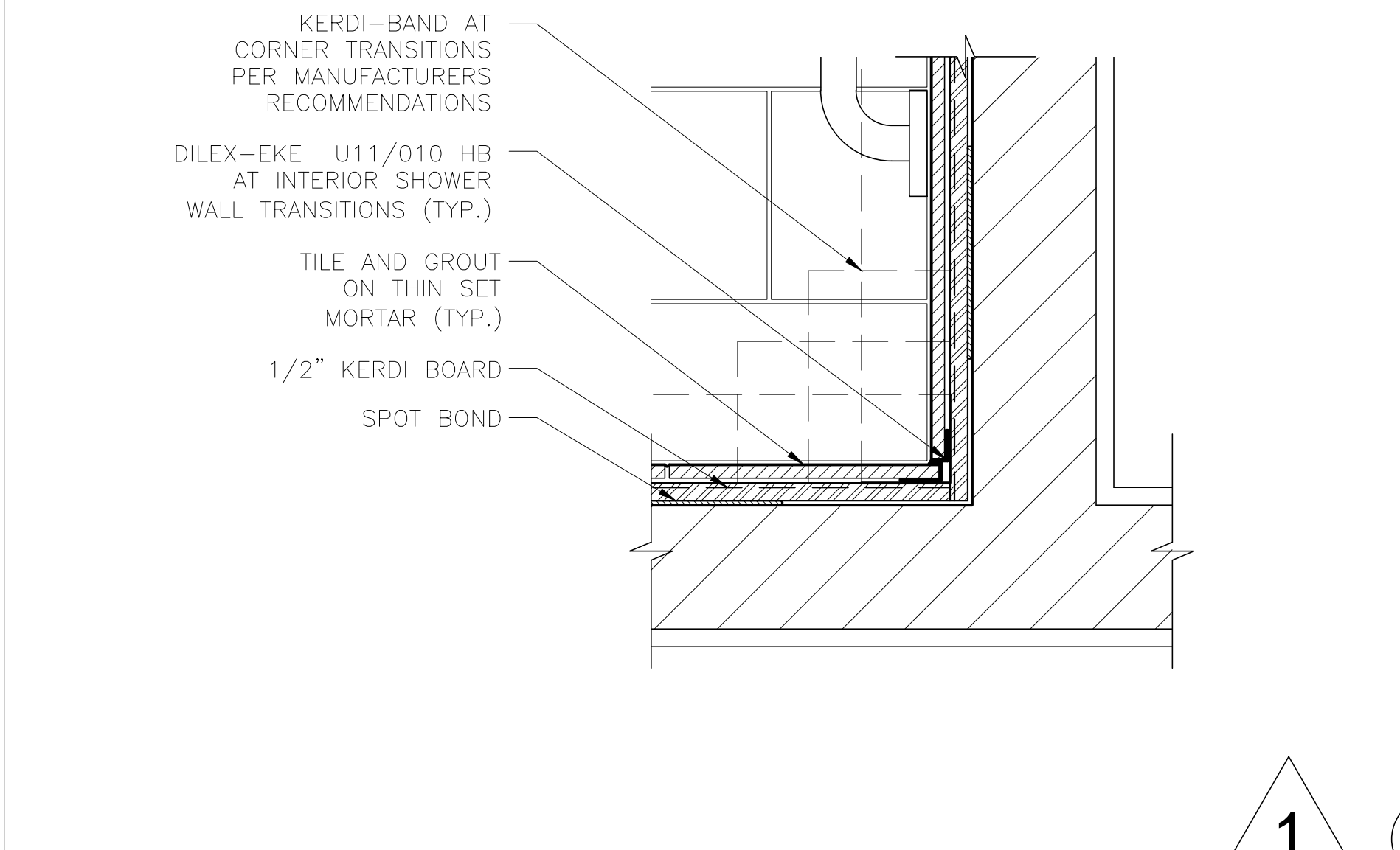
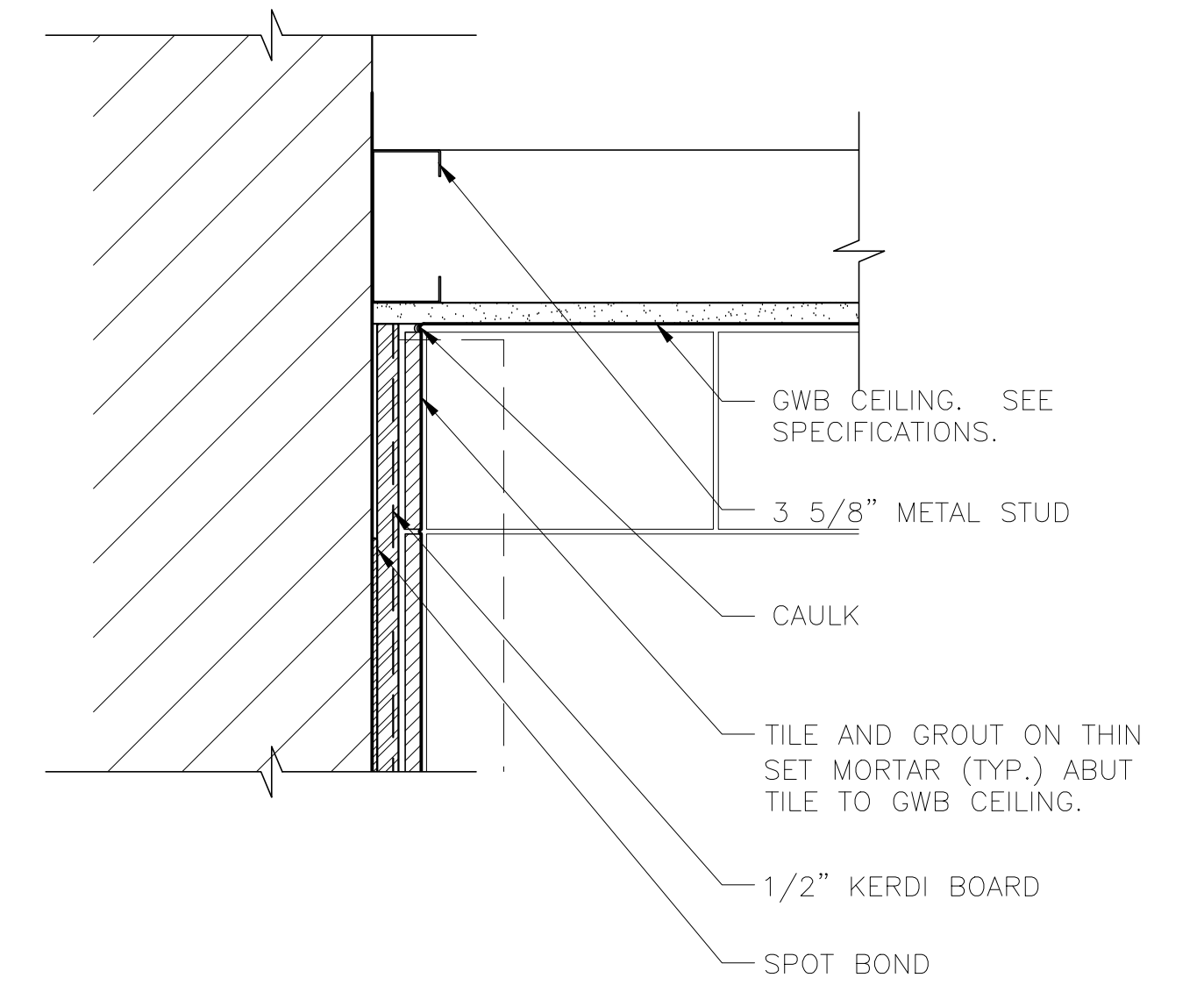
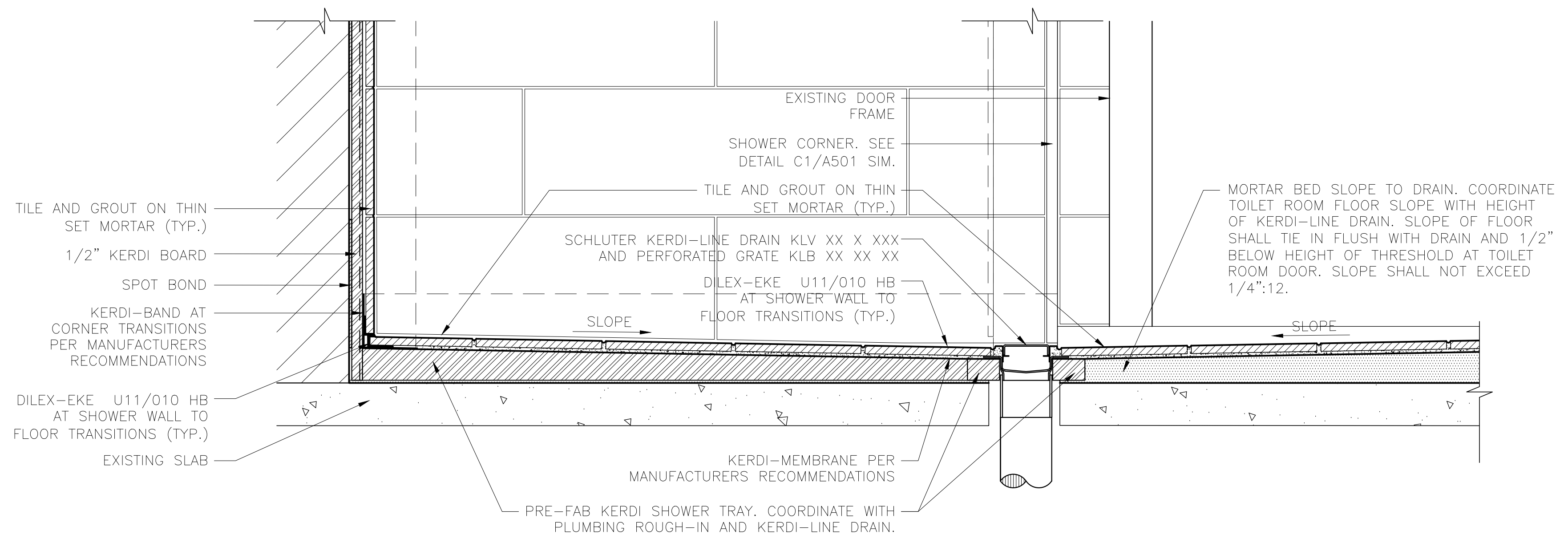
**B1 ACCESSIBLE SHOWER PLAN**  
 SCALE: 1 1/2" = 1'-0"  
 SHOWN: ROOM 115B  
 OPPOSITE HAND: 140B

**B2 ACCESSIBLE SHOWER SECTION**  
 SCALE: 1 1/2" = 1'-0"  
 SHOWN: ROOM 115B  
 OPPOSITE HAND: 140B

**D1 SHOWER DRAIN DETAIL**  
 SCALE: 3" = 1'-0"

**C1 TILE TERMINATION DETAIL**  
 SCALE: 3" = 1'-0"

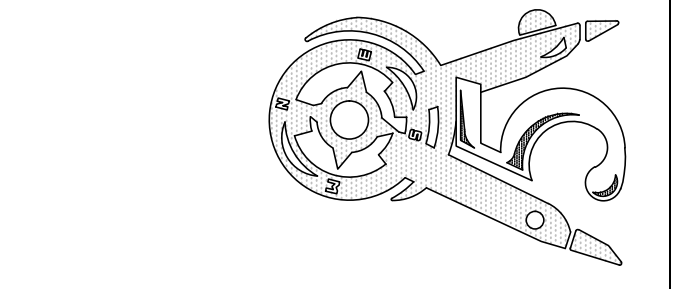
**B3 TILE TERMINATION DETAIL**  
 SCALE: 3" = 1'-0"



**A1 ENLARGED ACCESSIBLE SHOWER SECTION DETAIL**  
 SCALE: 3" = 1'-0"  
 SHOWN: ROOM 115B  
 OPPOSITE HAND: 140B

**A2 TYP. SHOWER CEILING DETAIL**  
 SCALE: 3" = 1'-0"

**A3 TILE TRANSITION DETAIL**  
 SCALE: 3" = 1'-0"



©2013 Compass 5 Partners, LLC  
 Project Number: 1238 ULH

REVISIONS	
OSE SD SUBMITTAL	12/20/12
OSE CD SUBMITTAL	01/16/13
FOR BIDDING	01/24/13

**SHOWER ENCLOSURE DETAILS**

Date: 01-24-13  
 Drawn: WTA  
 Checked: MEC

**A502**

AIR DISTRIBUTION SCHEDULE									
TAG	DESCRIPTION	MANUFACTURER	MODEL	FRAME	CFM	NECK SIZE	FACE SIZE	MAX NC	REMARKS
Ⓐ	LOUVERED EXHAUST	PRICE	630	SURFACE	100	6"x6"	8"x8"	30	1,2,3
1. PROVIDE WITH STANDARD WHITE FINISH. 2. PROVIDE ALUMINUM OR ALUMINIZED STEEL CONSTRUCTION.									

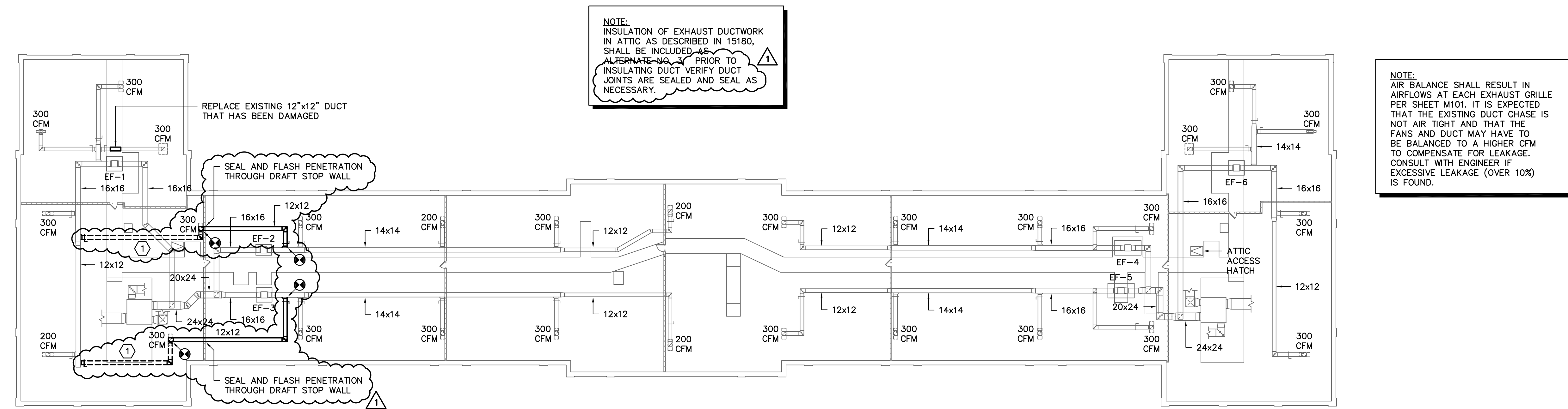
**DEMOLITION NOTES**

① REMOVE EXISTING EXHAUST DUCT AS SHOWN AND CAP MAIN TRUNK DUCT WITH SHEET METAL AND SEAL WITH MASTIC.

- GENERAL NOTES**
- VISIT SITE PRIOR TO BIDDING. THIS CONTRACTOR SHALL DETERMINE DIFFICULTY OF INSTALLATION AND REFLECT THIS IN HIS BIDDING.
  - DO NOT SCALE DRAWINGS. SEE ARCHITECTURAL DRAWINGS AND REFLECTED CEILING PLANS FOR EXACT LOCATIONS OF DOORS, WINDOWS, AIR DISTRIBUTION, ETC.
  - DO NOT SCALE DRAWINGS. THIS CONTRACTOR SHALL VERIFY ALL EXISTING ITEMS AND LOCATIONS IN THE FIELD.
  - ALL PIPING AND DUCTWORK LOCATIONS SHALL BE COORDINATED WITH WORK UNDER OTHER DIVISIONS OF THE SPECIFICATIONS TO AVOID INTERFERENCE.
  - FIRE DAMPERS SHALL BE INSTALLED WHERE SHOWN ON PLANS, IN ALL FIRE PARTITIONS.
  - PROVIDE FOR ACCESS TO ALL EQUIPMENT REQUIRING CLEANING OR ADJUSTMENT.
  - THIS CONTRACTOR SHALL PROVIDE ALL ITEMS OF MISCELLANEOUS STEEL AS REQUIRED FOR INSTALLATION OF ALL MECHANICAL ITEMS.
  - CORRECT SETTINGS ON ALL BALANCING FITTINGS SHALL BE PERMANENTLY MARKED. PROVIDE ORANGE FLAGGING RIBBON ON EACH DAMPER HANDLE FOR EASY IDENTIFICATION.
  - THIS CONTRACTOR SHALL BE RESPONSIBLE FOR ANY NECESSARY DISMANTLING OF EQUIPMENT TO BE REMOVED. ITEMS REMOVED UNDER THIS CONTRACT SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF PROPERLY.
  - THE HVAC SYSTEMS SHALL NOT BE OPERATED DURING HEAVY CONSTRUCTION OPERATIONS INCLUDING MASONRY, GYPSUM BOARD SANDING, HEAVY CLEANUP ACTIVITIES, OR OTHER ACTIVITIES THAT CREATE AIRBORNE PARTICLES OR DEBRIS. ALL SYSTEMS SHALL BE CLEAN OF CONSTRUCTION DEBRIS, DUST AND DIRT AT FINAL COMPLETION. DUCT CLEANING AND UNIT/COIL CLEANING SHALL BE PERFORMED IF REQUIRED.

**LEGEND**

SYMBOL	DESCRIPTION
Ⓐ100	TYPE "A" DIFFUSER, 100 CFM
FD	FIRE DAMPER
▬	RECTANGULAR SUPPLY DUCTWORK
▬	RETURN, EXHAUST, FRESH AIR DUCTWORK
48x24	48"x24" RECTANGULAR DUCT
⊕	CONNECTION POINT OF NEW TO EXISTING



**ATTIC FLOOR RENOVATION PLAN**  
 SCALE: 1/16" = 1'-0"

©2013 Compass 5 Partners, LLC  
 Project Number: 1238 ULH

**REVISIONS**

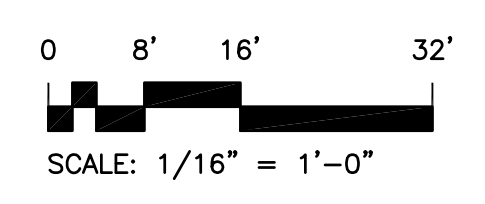
OSE SD SUBMITTAL	12/20/12
OSE CD SUBMITTAL	01/16/13
FOR BIDDING	01/24/13
ADDENDUM NO. 1	02/20/13

**ATTIC FLOOR RENOVATION PLAN, NOTES, SCHEDULE, AND LEGEND**

Date:	01-24-13
Drawn:	DEM
Checked:	WCL

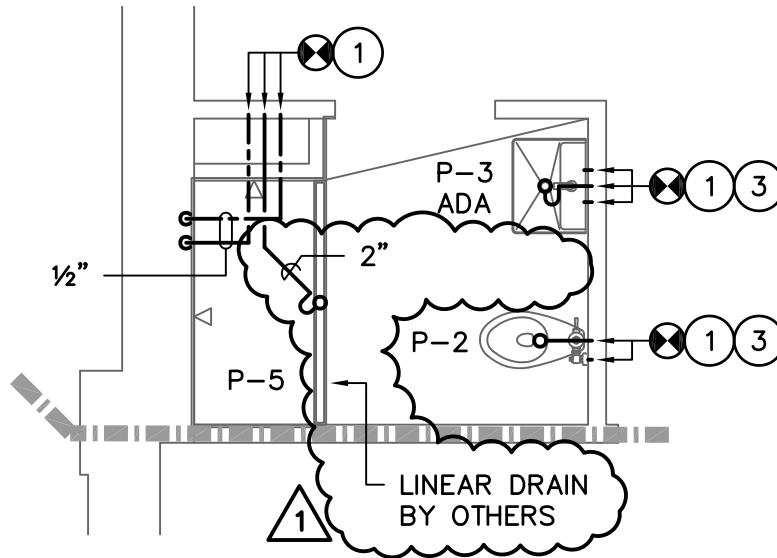
**M102**

**Swygert & Associates**  
 CONSULTING ENGINEERS  
DBA Swygert & Assoc., Ltd. Telephone: (803) 791-9300  
 Post Office Box 11699 Columbia, S.C. 29211 Fax: (803) 791-0830  
 mail@swygert-associates.com



N:\PROJECTS\11695\DRAWINGS\HVAC\11695-M102.dwg





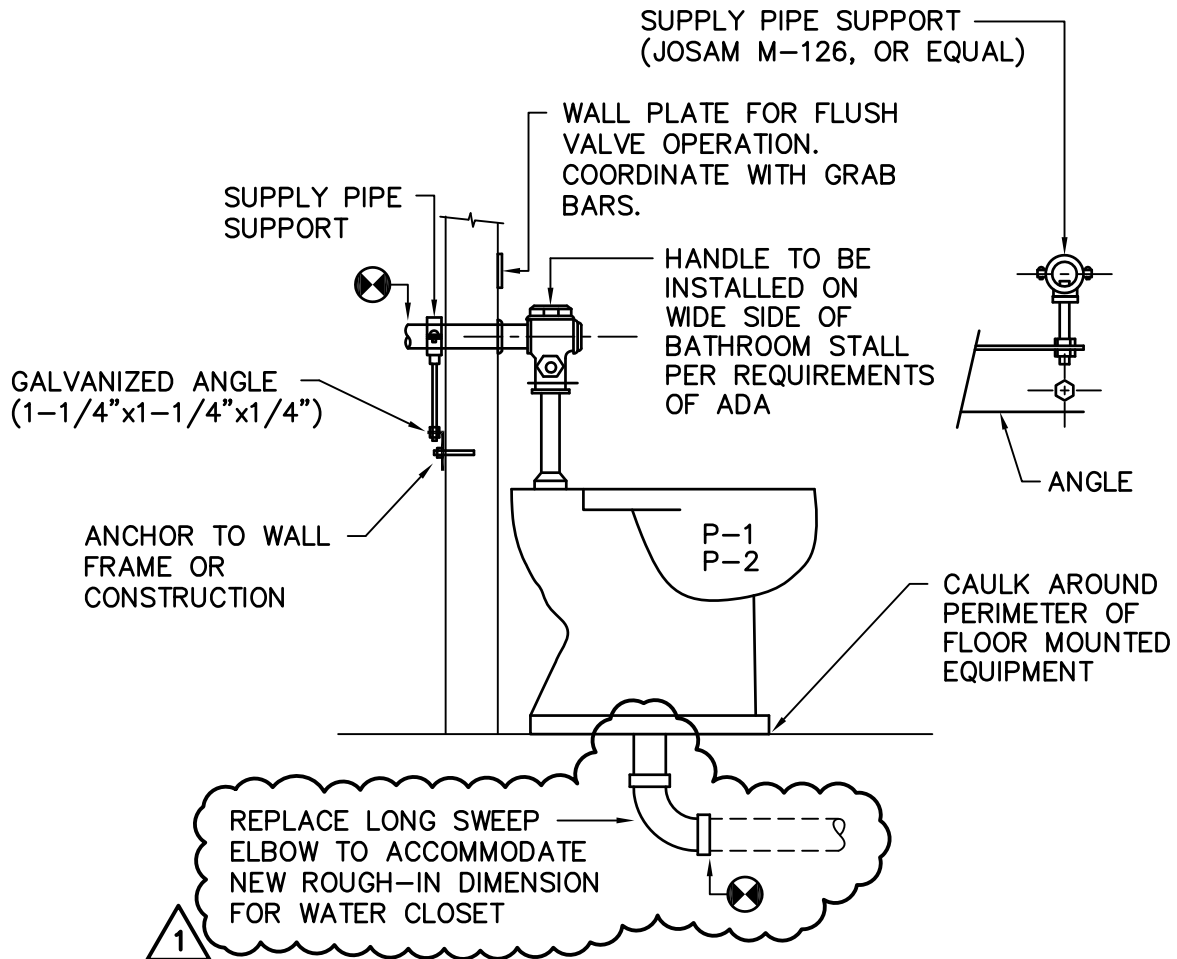
4  
P101

## TYPICAL TOILET TYPE D – RENOVATION

SCALE: 1/4" = 1'-0"

SHOWN: ROOM 115B

OPPOSITE HAND: 140B – ADJUST WATER CLOSET SUPPLY PIPING  
IN WALL AS REQUIRED TO ASSURE THAT FLUSH VALVE HANDLE  
IS ON THE WIDE SIDE OF THE FIXTURE



## WATER CLOSET SUPPLY DETAIL

NO SCALE

## SECTION 00312 - EXISTING HAZARDOUS MATERIAL INFORMATION

### 1.1 EXISTING HAZARDOUS MATERIAL INFORMATION

- A. This Document with its referenced attachments provides Owner's information for Bidders' convenience and is intended to supplement rather than serve in lieu of Bidders' own investigations. They are made available for Bidders' convenience and information, but are not a warranty of existing conditions. This Document and its attachments are not part of the Contract Documents.
- B. An existing hazardous material report for this Project, prepared by USC, dated 14 February 2013, is available for viewing as appended to this Document.
- C. Related Requirements:
  - 1. Document 002113 "Instructions to Bidders" for the Bidder's responsibilities for examination of Project site and existing conditions.
  - 2. Section 01732 "Selective Demolition" for notification requirements if materials suspected of containing hazardous materials are encountered.

**END OF DOCUMENT 00312**

**Appended Information from USC ( 14 Feb 2013) as follows:**

**Hazardous Materials Specifications (Asbestos and Lead)**

**Asbestos Specifications**

The General contractor will be required to select an asbestos abatement contractor to be on standby in the event asbestos containing material is uncovered during the renovation.

The contractor will be required to follow all OSHA, EPA, and SCDHEC regulations regarding the removal, handling, and disposal of asbestos containing material.

The bathroom chase(s) may contain asbestos containing material (pipe insulation) which may be in a deteriorated state. If the chases have to be entered during this project by the contractor, USC will inspect the chase(s) to determine the accessibility of the chase(s). Depending on the condition of the chase(s) and the type of work in the chase(s), the chase(s) may have to be abated by a licensed asbestos contractor.

The contractor should be aware when removing any sheetrock and/or plaster there is the potential for uncovering pipes in the wall cavity which may have asbestos pipe insulation on the pipe.

The contractor should be aware that there is the potential for deteriorating asbestos pipe insulation above both the hard ceiling and ceiling tiles within the bathrooms of the building. If this is encountered, a licensed asbestos abatement contractor may have to abate the materials uncovered.

The contractor should be aware when removing the showers, there is the possibility of a waterproofing agent under the shower which contains asbestos. Also, the contractor will notify the Hazmat office when work is going to proceed for the installation of valves or shower fixtures to validate methods as safe and compliant for potential disturbance of chase(s). If deemed contaminated, a licensed asbestos abatement contractor may have to abate the chase(s) before the installations of the valves occur.

USC Inspectors will sample the VCT in May to determine if the tile and/or mastic are positive for asbestos. USC will forward the results of the survey to the general contractor when complete. When removing the VCT, there is a possibility of uncovering asbestos containing sheet flooring.

The 1X4 tile sections that connect to the bathrooms may have multiple layers of subflooring of which is positive for asbestos. The contractor must have this material removed by a licensed asbestos abatement contractor and have the work accounted for as friable removal of the materials.

### Lead Specifications

The contractor shall use a properly licensed lead contractor for the removal of the ceramic tile in the bathroom of Preston.

The contractor will be required to follow all OSHA, EPA, and SCDHEC regulations regarding the removal, handling, and disposal of lead containing ceramic tile.

The contractor will have the proper lead abatement certification to perform the work. This can be the Renovation, Repair and Painting certification, or any other lead abatement certification recognized by OSHA, EPA, and SCDHEC.

The contractor may use other means and methods of lead abatement approved in writing by USC.

USC will determine if the ceramic waste associated with the project is considered hazardous waste. If the waste is deemed nonhazardous waste, the contractor will pay for disposal. The waste will be disposed of in an approved lined landfill. If the waste is deemed hazardous waste, USC will pay for disposal and the contractor shall issue a deduct for the waste.

For manual removal methods of the ceramic tile in the bathrooms the following procedures will apply as long as a negative exposure assessment is provided by the contractor in writing and approved by USC.

If the contractor does not have a negative exposure assessment, the contractor can perform and provide one at any point during the duration of the project.

If the contractor does not provide a negative exposure assessment for the manual removal then the contractor will follow the procedures listed in the mechanical section of the specifications.

### Manual Removal

PPE – Tyvek suit or coveralls to prevent contamination of street clothing. A half-face , air purifying respirator with HEPA cartridges is optional. Note that any employee wearing a respirator must be enrolled in the Respiratory Protection Program and be qualified to wear a respirator.

### Required Work Practices

- Barrier tape will be used to isolate the work area in such a way that staff, students, and the public cannot get within 10 ft of the work area.
- A warning sign should be posted outside any unsecured entry to the work site. Refer to the Signage Section of this Program (Section 13).
- Daily clean-up of the worksite will include removal of debris (with the exception of contaminated plastic sheeting) and disposal of protective clothing.

- Complete Lead Compliance Plan prior to beginning work.
- Identify and require the use of hand/face washing facility and change area.
- Personal air monitoring should be conducted periodically to confirm exposures remain below the OSHA Action Limit.
- For work occurring in occupied areas (i.e., office, cafeteria, gym, dormitory, apartments, study room, labs) the work area should be enclosed with, minimally, 6 mil plastic in a manner that prevents transfer of dust outside the work area.
- Remove all movable objects (desk, chairs, and books) within the enclosed work area. Non-movable objects should be securely covered with 6-mil plastic sheeting, as to prevent lead dust contamination. Facility Services employee entry to the work area will be limited to those individuals with documented Lead Awareness Training.
- For work occurring in unoccupied areas (i.e., hallway, stairwell, foyers, mechanical spaces, etc) prepare work area by placing 6mil plastic sheeting a minimum of six (6) feet horizontally out in all directions from the work area. Adequately secure plastic to ensure all debris and dust is collected on plastic.
- Cover all air vents within the work area.
- For exterior projects, capture all lead containing material and presumed lead containing material to prevent contamination of the surrounding environment (i.e. secure one layer of 6-mil plastic on the ground extending 10 feet beyond the perimeter of the worksite).
- Use care to minimize the production of dust from scraping or sanding. Use either wet sanding/scraping or HEPA filtration fitted equipment.
- After disturbance work is completed a HEPA vacuum should be used to remove any small debris and visible dust from interior/exterior surfaces and plastic sheeting.
- Visually inspect area for any debris resulting from work conducted. Remove any debris from area.
- Decontaminate Tyvek or coveralls with HEPA vacuum before leaving the regulated area.
- After work is completed, a HEPA vacuum should be used to remove any small debris and visible dust from all surfaces. After visible debris is removed from the plastic sheeting, it should be rolled inward and placed in a "hazardous" waste container, along with all disposable clothing. All "hazardous" waste shall be adequately labeled and stored in accordance with all Local, State, and Federal rules and in accordance with University Procedures.

## Mechanical removal

For mechanical removal methods of the ceramic tile in the bathrooms the below procedures will apply.

If the contractor plans to deviate from these methods shown below a negative exposure assessment will need to be provided by the contractor in writing for approval by USC to allow for less stringent method for removal of ceramic tile.

If the contractor does not already have a negative exposure assessment, the contractor can perform and provide one at any point during the duration of the project.

PPE – Tyvek suit or coveralls to prevent contamination of street clothing. Depending upon the operation and expected exposure levels, all employees must wear, at a minimum, a powered air purifying respirator with tight-fitting face piece. Note that any employee wearing a respirator must be enrolled in the Respiratory Protection Program and be qualified to wear a respirator.

### Required Work Practices

- Complete Lead Compliance Plan prior to beginning work.
- Lead dust/debris shall be contained to the work area by sealing all doors, windows, and air vents with 6-mil plastic sheeting. This may require turning off localized HVAC systems.
- The entrance to the work area should be equipped with an adequate air lock constructed of 6 mil plastic sheeting at a minimum. The air lock must control any dust migration or transfer out of the controlled work area.
- A three-stage decontamination unit, including equipment room, shower and clean room must be established at the entrance to the work area.
- Disposable coveralls must be donned prior to entering the work-site and contaminated coveralls must be doffed prior to exiting the work-site.
- Entry to the work area will be limited to workers with documented Occupational Exposure to Lead training.
- All furniture that cannot be removed from the work area should be covered in 6-mil plastic sheeting in a manner which provides protection from lead dust contamination.
- Place a minimum of 6-mil plastic sheeting on all finished floors in the work area, and tape all seams, as necessary. The contractor must notify Facility Services if plastic sheeting is not appropriate for floor application and provide an alternative floor protection control method.



- Mechanical ventilation may not be used, unless resulting exhaust outside the work area is equipped with HEPA filtration and the termination of the exhaust is monitored in accordance with Section 15 of this Program.
- Barrier tape will be used to isolate the work area in such a way that staff, students, and the public cannot get within 10 ft of the work area.
- A warning sign should be posted outside any unsecured entry to the work site. Refer to the Signage Section of this Program (Section 13).
- Daily clean-up of the worksite will include removal of debris (with the exception of contaminated plastic sheeting) and disposal of protective clothing.
- After lead project work is completed, a HEPA vacuum should be used to remove any small debris and visible dust from all surfaces. After visible debris is removed from the plastic sheeting, it should be rolled inward and placed in a “hazardous” waste container, along with all disposable clothing. All “hazardous” waste shall be adequately labeled and stored in accordance with all Local, State, and Federal rules and in accordance with University Procedures.
- In situations where work is complete, but plastic sheeting was not used on the floor, a HEPA vacuum should be used to remove any small debris and visible dust, followed by a wet mopping with lead specific detergent of the entire floor. All liquid waste must be treated as “hazardous” until otherwise determined by analysis and characterization.
- The work area may not be released for general use or occupancy until clearance wipe samples are collected and results reviewed and approved by EHS. Information on Clearance Criteria and associated sampling can be found in Section 16 of this Program.





0756

Reset Form Print Form

Building # 70 PRESTON

Type of Analysis: Lead /  Asbestos

Date: 02-05-2013

Turn Around Time 24 HRS

Area	Sample ID	Material Sampled	Material Location	F/NF	Cond	Quantity	Pot to Disturb
K	31	PLASTER	ROOM 117 CEILING OF BATHROOM	F	G	>7000 SQFT	LOW
K	32	PLASTER	ROOM 142 CEILING OF BATHROOM	F	G	>7000 SQFT	LOW
K	33	PLASTER	ROOM 143 CEILING OF BATHROOM	F	G	>7000 SQFT	LOW
K	34	PLASTER	ROOM 142 CEILING OF BATHROOM	F	G	>7000 SQFT	LOW
K	35	PLASTER	ROOM 219 CEILING OF BATHROOM	F	G	>7000 SQFT	LOW
K	36	PLASTER	ROOM 242 CEILING OF BATHROOM	F	G	>7000 SQFT	LOW
K	37	PLASTER	ROOM 353 CEILING OF BATHROOM	F	G	>7000 SQFT	LOW
L	38	SHEET ROCK	ROOM 140 CEILING OF BATHROOM	F	G	>7000 SQFT	LOW
L	39	SHEET ROCK	ROOM 140 CEILING OF BATHROOM	F	G	>7000 SQFT	LOW

*\* Sheet Rock Submitted Reference only.*

License # 00568 FM# FM000402305 Signature [Signature] Requestor HARGRAVE, LEKITA

Send lab results in PDF format as soon as possible to:

Ed Pitts 803-777-3296  
720 College St.  
Columbia, SC 29208  
EHP@fmc.sc.edu

Darryl Washington 803-777-2399  
720 College St.  
Columbia, SC 29208  
WashinDH@fmc.sc.edu

Ty Russell 803-777-1208  
720 College St.  
Columbia, SC 29208  
NTRuss@fmc.sc.edu

1/5/13

Fax # 803-777-3990

0756



Building # 70 PRESTON Sample Analysis: Lead Asbestos Date: 02-05-2013 Turn Around Time 24 HRS

Table with columns: Area, Sample ID, Material Sampled, Material Location, F/NF, Cond, Quantity, Pot to Disturb. Rows A-D with material details like 'DARK BEIGE 12X12 FLOOR TILE' and 'BLACK FLOOR TILE'.

License # 00568 FM# FM00402305 Requestor HARGRAVE, LEKITA Signature [Handwritten]

Send lab results in PDF format as soon as possible to: Ed Pitts 803-777-3296 Darryl Washington 803-777-2399 Ty Russell 803-777-1208 Columbia, SC 29208

0756



Building # 70 PRESTON

Sample Analysis Type of Analysis: Lead Asbestos

Date: 02-05-2013

Turn Around Time 24 HRS

Area	Sample ID	Material Sampled	Material Location	F/NF	Cond	Quantity	Pot to Disturb
D	11	LIGHT BEIGE 12X12 FLOOR TILE	ROOM 115 FIRST LAYER IN FRONT OF BATHROOM	NF	G	>7000 SQFT	LOW
D	12	LIGHT BEIGE 12X12 FLOOR TILE	ROOM 115 FIRST LAYER IN FRONT OF BATHROOM	NF	G	>7000 SQFT	LOW
E	13	PINK FLOOR LEVELER	ROOM 115 FIRST LAYER IN FRONT OF BATHROOM	NF	G	>7000 SQFT	LOW
E	14	PINK FLOOR LEVELER	ROOM 115 FIRST LAYER IN FRONT OF BATHROOM	NF	G	>7000 SQFT	LOW
E	15	PINK FLOOR LEVELER	ROOM 115 FIRST LAYER IN FRONT OF BATHROOM	NF	G	>7000 SQFT	LOW
F	16	LIGHT TAN 12X12 FLOOR TILE	ROOM 143 FIRST LAYER IN FRONT OF BATHROOM	NF	G	>7000 SQFT	LOW
F	17	LIGHT TAN 12X12 FLOOR TILE	ROOM 143 FIRST LAYER IN FRONT OF BATHROOM	NF	G	>7000 SQFT	LOW
F	18	LIGHT TAN 12X12 FLOOR TILE	ROOM 242 FIRST LAYER IN FRONT OF BATHROOM	NF	G	>7000 SQFT	LOW
G	19	DARK TAN FLOOR TILE/LEVELER	ROOM 143 SECOND LAYER IN FRONT OF BATHROOM	NF	G	>7000 SQFT	LOW
G	20	DARK TAN FLOOR TILE/LEVELER	ROOM 143 SECOND LAYER IN FRONT OF BATHROOM	NF	G	>7000 SQFT	LOW

License # 00568

FM# FM00402305

Signature

Requestor HARGRAVE, LEKITA

Send lab results in PDF format as soon as possible to:

Ed Pitts 803-777-3296  
720 College St.  
Columbia, SC 29208  
EHP@fmc.sc.edu

Darryl Washington 803-777-2399  
720 College St.  
Columbia, SC 29208  
WashinDH@fmc.sc.edu

Ty Russell 803-777-1208  
720 College St.  
Columbia, SC 29208  
NTRussel@fmc.sc.edu

Fax # 803-777-3990





0756

Building # 70 PRESTON Type of Analysis: Lead / Asbestos Date: 02-05-2013 Turn Around Time 24 HRS

Table with columns: Area, Sample ID, Material Sampled, Material Location, F/NF, Cond, Quantity, Pot to Disturb. Rows include sample IDs G, H, I, J and materials like DARK TAN FLOOR TILE/LEVELER, GRAY FLOOR TILE/MASTIC, GRAY FLOOR TILE/LEVELER, BLACK TILE/WHITE LEVELER, BLACK TILE/WHITE LEVELER.

License # 00568 FM# FM000402305 Signature Requestor HARGRAVE, LEKITA

Send lab results in PDF format as soon as possible to:

Contact information for Ed Pitts, Darryl Washington, Ty Russell, Columbia, SC 29208. Includes phone numbers and email addresses.

# FM00346306

# USC Work Order

**Description** HAZMAT SURVEY - 070

<b>Site</b>	COLUMBIA	<b>Assigned To</b>	JPROVENCE
<b>Building</b>	070 PRESTON COLLEGE	<b>Crew</b>	HAZMAT
<b>Floor</b>	<b>Room:</b>	<b>Start Date</b>	<b>Priority</b> 5
<b>Equipment</b>		<b>Due date</b>	28-OCT-10
		<b>Request Date</b>	28-SEP-10 <b>by</b> KALLEY

<b>Request #</b>	FM00346306	<b>Description</b>	HAZMAT SURVEY - 070
<b>Parent WO #</b>			

<b>CP Number</b>	CP00306091	PRESTON COLLEGE BATHROOM AND FLOORING RENOVATIONS
------------------	------------	---

<b>State/Internal Project Number</b>	H27-6086
--------------------------------------	----------

<b>Requestor</b>	HARGRAVE	<b>Project Manager</b>	HARGRAVE, LEKITA V.
<b>Telephone</b>	7-9824	<b>Telephone</b>	777-5818
<b>Alternate</b>		<b>Estimated Cost</b>	\$ 0.00
<b>Telephone</b>		<b>Billing</b>	FIXED PRICE
<b>Non-Available Time</b>		53100-W783-57120	(PRESTON COLLEGE BATHROOM & FLOORING RENO)

**Task List**  
 (CHECK ALL THAT APPLY AND PROVIDE ADDITIONAL INFORMATION AS NEEDED)

HAZMAT SURVEY(S) REQUESTED FOR THE FOLLOWING

- FLOOR TILE
- JOINT COMPOUND
- WALLS
- MASTIC
- CEILING TILE
- PIPE INSULATION
- VINYL SHEET FLOORING
- FIREPROOFING
- FUME HOODS/TABLE TOPS
- ROOFING MATERIALS
- FIRE DOORS
- GASKETS/VALVES
- BOILER INSULATION
- ACOUSTICAL POPCORN CEILING
- DUCT WORK
- OTHER (PLEASE DESCRIBE BELOW)

ASSIST WITH RETEST OF SELECT AREAS OR HOLE CORING AS DETERMINED BY WALKTHROUGH WITH COMPASS 5.

<b>DATE WORK STARTED</b>	<b>CAUSE</b>
<b>DATE WORK COMPLETED</b>	<b>CONDITION</b>
<b>EQUIPMENT</b>	
<b>CLOSING REMARKS</b>	
<b>BENCHSTOCK MATERIALS</b>	
<b>Qty</b>	<b>Description</b>
	<b>Price Per Unit</b>



Note Date	Title
21-FEB-13	Supervisor's Approval HAZMAT SURVEY RESULTS
	<p>SURVEY DATE:2/5/13</p> <p>INSPECTOR #: DARRYL WASHINGTON II BI-00568</p> <p>STATUS: THE FOLLOWING MATERIALS HAVE BEEN TESTED FOR ASBESTOS AND LEAD MATERIALS RESULTS FOLLOWS</p> <p>ASBESTOS SECTION:</p> <p>ALL FLOOR TILE IN EACH ROOM ( MULTIPLE LAYERS AND COLORS )- POSITIVE FOR ASBESTOS CONTAINING MATERIALS</p> <p>IN SOME LOCATIONS FLOOR~ LEVELERS WERE IN BETWEEN THE LAYER OF ACM TILE.</p> <p>PLASTER WALL MATERIAL- NEGATIVE FOR ASBESTOS CONTAINING MATERIALS</p> <p>TSI ABOVE DROP IN CEILINGS IN EACH BATHROOM ( NOT SAMPLED BUT REFERENCED PER ORIGINAL 1985 SURVEY )- POSITIVE FOR ASBESTOS CONTAINING MATERIALS</p> <p>BLACK FLOORING FELT ( MATERIAL SPERATIC AND NOT IN ALL ROOMS )-POSITIVE FOR ASBESTOS CONTAINING MATERIALS</p> <p>SHEET ROCK CEILINGS IN BATHROOMS WILL HAVE TO BE CHECKED AND SAMPLED AT THE START DATE OF THE PROJECT. 2 OUT OF THE 16 ROOMS HAD THIS MATERIAL, AND INSPECTORS NEED TO TAKE MORE SAMPLES TO GIVE A READING ON THIS MATERIAL</p> <p>TERRAZZO TOE BOARDS AND SHOWER FLOORS- NOT SUSPECT FOR ASBESTOS CONTAINING MATERIALS</p> <p>- PLEASE REFER TO ACM SPEC FOR MORE DETAILS.</p> <p>LEAD SECTION:</p> <p>PAINT ON ON BATHROOM WALLS - POSITIVE FOR LEAD BASE PAINT</p> <p>CERAMIC TILED WALLED SHOWERS - ( GLAZED PAINT )- POSITIVE FOR LEAD BASE PAINT</p> <p>CERAMIC SMALL SQUARED FLOORING IN RESTROOMS ( GLAZED PAINT POSITIVE FOR LEAD BASE PAINT</p> <p>PLEASE REFER TO LEAD SPEC FOR LEAD REMOVAL DETAILS.</p> <p>INSPECTORS NOTES:</p> <p>FOR BIDDING PURPOSES PLEASE USE PROVIDED SQUARE FOOTAGES FROM THE ARCHITECTECTS DRAWINGS OR SPEC DOCUMENTS FOR THIS JOB. BASE MOLDING WILL ALSO BE TESTED AT THE START DATE OF PROJECT IF MATERIAL WILL BE DISTURBED DURING RENOVATION.</p> <p>IF YOU ENCOUNTER ANY SUSPECT MATERIALS IN PLACE AND DEEM IT SUSPECT FOR ASBESTOS AND OR LEAD AND IT IS NOT LISTED ABOVE PLEASE STOP WORK AND CALL THE ASBESTOS PROGRAM MANAGER FOR FURTHER TESTING AND OR ABATEMENT.</p> <p>REFER TO THE SURVEY RESULTS DOCUMENT ATTACHED TO THE WO FOR DETAILED INFORMATION.</p> <p><b>07-APR-04 ASBESTOS MAY BE PRESENT IN THIS BUILDING</b></p> <p>WARNING - ASBESTOS EXPOSURE ALERT - EXPOSURE TO ASBESTOS MAY BE HARMFUL TO YOUR HEALTH.</p> <p>AS OF 4/1/2004 THE FOLLOWING AREAS WITHIN THE BUILDING HAVE BEEN IDENTIFIED BY SURVEY TO CONTAIN ASBESTOS:</p> <p>BLDG 070 PRESTON SOME ASBESTOS IN THE WALLS HAS NOT BEEN REMOVED</p> <p>PLEASE NOTE - IDENTIFICATION OF ASBESTOS CONTAINING COMPONENTS WITHIN THIS STRUCTURE DOES NOT SPECIFICALLY EXCLUDE THE PRESENCE OF ASBESTOS WITHIN OTHER AREAS.</p> <p>THE FOLLOWING COMMON TYPES OF BUILDING COMPONENTS COULD CONTAIN MATERIALS THAT, WHEN DISTURBED, MIGHT EXPOSE YOU TO ASBESTOS:</p> <ol style="list-style-type: none"> <li>1. FLOOR TILE</li> <li>2. PIPE INSULATION</li> <li>3. BLACK MASTIC</li> <li>4. HVAC DUCT MASTIC</li> <li>5. SPRAYED-ON FIREPROOFING</li> <li>6. SPRAYED-ON CEILINGS</li> <li>7. SHEETROCK JOINT COMPOUND</li> </ol> <p>BEFORE DISTURBING THESE TYPES OF COMPONENTS, CONFIRM THAT THEY DO NOT CONTAIN ASBESTOS AND TAKE PROPER PRECAUTIONS AT ALL TIMES.</p>
09-AUG-10	2009-08-13 BLDG COMPONENT ASBESTOS/LEAD EXPOSURE UPDATE

BELOW ARE THE ASBESTOS AND LEAD TESTING RESULTS FOR PRESTON DORMITORY :

WALL PLASTER: NEGATIVE FOR ASBESTOS CONTAINING MATERIALS

2X2 WHITE CEILING TILE: NEGATIVE FOR ASBESTOS CONTAINING MATERIALS

BROWN MASTIC DOTS ON CONCRETE CEILING: POSITIVE FOR ASBESTOS CONTAINING MATERIALS

THE DORMITORY HAS HAD FLOOR TILE REMOVED IN VARIOUS PLACES. FLOOR TILE IN THE BUILDING DOES CONTAIN ASBESTOS AS WELL AS THE MASTIC HOLDING THE FLOOR IN PLACE

THE HALLWAY PAINT AND THE INTERIOR OF THE ROOM WALL CONTAIN LEAD BASE PAINT AND NO DRILL SHOULD TAKE PLACE WITHOUT PERMISSION OF THE ASBESTOS PROGRAM MANAGER

THE PAINT FROM THE CEILING IN DORMITORY CLOSETS ARE NEGATIVE FOR LEAD BASE PAINT (WHITE)

IF YOU AND/ OR CONTRACTORS NEED TO DISTURB ANY MATERIALS YOU DEEM SUSPECT THAT ARE NOT LISTED ABOVE, STOP WORK AND CONTACT THE ASBESTOS PROGRAM MANAGER, 777-1208. IF YOU NEED TO DISTURB ANY MATERIAL LISTED AS POSITIVE, YOU MUST CONTACT THE ASBESTOS PROGRAM MANAGER TO ARRANGE FOR REMOVAL. THIS INFORMATION MUST BE PASSED ALONG TO ALL CONTRACTORS, SUB-CONTRACTORS, AND INDIVIDUALS WORKING IN THIS BUILDING

**EMSL Analytical, Inc.**

706 Gralin Street, Kernersville, NC 27284

Phone/Fax: (336) 992-1025 / (336) 992-4175

[greensborolab@emsl.com](mailto:greensborolab@emsl.com)

EMSL Order: 021300756

CustomerID: UNSC62

CustomerPO:

ProjectID:

Attn: **Darryl Washington**  
**University of South Carolina**  
**743 Greene Street**  
**Columbia, SC 29208**

Phone: (803) 777-7000  
 Fax: (803) 777-7334  
 Received: 02/06/13 10:00 AM  
 Analysis Date: 2/7/2013  
 Collected:

Project: #70 Preston

### Test Report: Asbestos Analysis of Bulk Materials via EPA 600/R-93/116 and/or EPA 600/M4-82-020 Method(s) using Polarized Light Microscopy

Sample	Description	Appearance	Non-Asbestos		Asbestos
			% Fibrous	% Non-Fibrous	% Type
1-Floor Tile 021300756-0001	Floor Tile	Tan/Beige Non-Fibrous Heterogeneous		100% Non-fibrous (other)	None Detected
1-Mastic 021300756-0001A	Floor Tile	Tan Non-Fibrous Heterogeneous	<1% Cellulose	100% Non-fibrous (other)	None Detected
2-Floor Tile 021300756-0002	Floor Tile	Tan Non-Fibrous Heterogeneous		100% Non-fibrous (other)	None Detected
2-Mastic 021300756-0002A	Floor Tile	Tan Non-Fibrous Heterogeneous	<1% Cellulose	100% Non-fibrous (other)	None Detected
3-Floor Tile 021300756-0003	Floor Tile	Tan/Beige Non-Fibrous Heterogeneous		100% Non-fibrous (other)	None Detected
3-Mastic 021300756-0003A	Floor Tile	Yellow/Gold Non-Fibrous Heterogeneous	<1% Cellulose	100% Non-fibrous (other)	None Detected
4-Tan Mastic 021300756-0004	Floor Tile	Tan Non-Fibrous Heterogeneous	<1% Cellulose	100% Non-fibrous (other)	None Detected
4-Floor Tile 021300756-0004A	Floor Tile	Black Fibrous Heterogeneous		90% Non-fibrous (other)	10% Chrysotile

Analyst(s)

Kristie Elliott (59)

Scott Combs (28)

Stephen Bennett, Laboratory Manager  
or other approved signatory

EMSL maintains liability limited to cost of analysis. This report relates only to the samples reported and may not be reproduced, except in full, without written approval by EMSL. EMSL bears no responsibility for sample collection activities or analytical method limitations. Interpretation and use of test results are the responsibility of the client. This report must not be used by the client to claim product certification, approval, or endorsement by NVLAP, NIST or any agency of the federal government. Non-friable organically bound materials present a problem matrix and therefore EMSL recommends gravimetric reduction prior to analysis. Samples received in good condition unless otherwise noted. Estimated accuracy, precision and uncertainty data available upon request. Unless requested by the client, building materials manufactured with multiple layers (i.e. linoleum, wallboard, etc.) are reported as a single sample. Reporting limit is 1%  
 Samples analyzed by EMSL Analytical, Inc. Kernersville, NC NVLAP Lab Code 102104-0, CA ELAP 2689, Virginia 3333-000228, West Virginia LT000321

Initial report from 02/07/2013 09:32:03



# EMSL Analytical, Inc.

706 Gralin Street, Kernersville, NC 27284  
Phone/Fax: (336) 992-1025 / (336) 992-4175  
[greensborolab@emsl.com](mailto:greensborolab@emsl.com)

EMSL Order: 021300756  
CustomerID: UNSC62  
CustomerPO:  
ProjectID:

Attn: **Darryl Washington**  
**University of South Carolina**  
**743 Greene Street**  
**Columbia, SC 29208**

Phone: (803) 777-7000  
Fax: (803) 777-7334  
Received: 02/06/13 10:00 AM  
Analysis Date: 2/7/2013  
Collected:

Project: #70 Preston

## Test Report: Asbestos Analysis of Bulk Materials via EPA 600/R-93/116 and/or EPA 600/M4-82-020 Method(s) using Polarized Light Microscopy

Sample	Description	Appearance	Non-Asbestos		Asbestos
			% Fibrous	% Non-Fibrous	% Type
4-Black Mastic 021300756-0004B	Floor Tile	Black Non-Fibrous Heterogeneous	2% Cellulose	98% Non-fibrous (other)	None Detected
4-Felt 021300756-0004C	Floor Tile	Black Fibrous Heterogeneous	65% Cellulose	35% Non-fibrous (other)	None Detected
4-Brown Mastic 021300756-0004D	Floor Tile	Brown Non-Fibrous Heterogeneous	<1% Cellulose	100% Non-fibrous (other)	None Detected
5-Tan Mastic 021300756-0005	Floor Tile	Tan Non-Fibrous Heterogeneous	<1% Cellulose	100% Non-fibrous (other)	None Detected
5-Floor Tile 021300756-0005A	Floor Tile	Black Fibrous Heterogeneous		90% Non-fibrous (other)	10% Chrysotile
5-Black Mastic 021300756-0005B	Floor Tile	Black Non-Fibrous Heterogeneous	5% Cellulose	95% Non-fibrous (other)	None Detected
6-Tan Mastic 021300756-0006	Floor Tile	Tan/Gold Non-Fibrous Heterogeneous	<1% Cellulose <1% Synthetic	100% Non-fibrous (other)	None Detected
6-Floor Tile 021300756-0006A	Floor Tile	Black Fibrous Heterogeneous		90% Non-fibrous (other)	10% Chrysotile

Analyst(s)

Kristie Elliott (59)  
Scott Combs (28)

Stephen Bennett, Laboratory Manager  
or other approved signatory

EMSL maintains liability limited to cost of analysis. This report relates only to the samples reported and may not be reproduced, except in full, without written approval by EMSL. EMSL bears no responsibility for sample collection activities or analytical method limitations. Interpretation and use of test results are the responsibility of the client. This report must not be used by the client to claim product certification, approval, or endorsement by NVLAP, NIST or any agency of the federal government. Non-friable organically bound materials present a problem matrix and therefore EMSL recommends gravimetric reduction prior to analysis. Samples received in good condition unless otherwise noted. Estimated accuracy, precision and uncertainty data available upon request. Unless requested by the client, building materials manufactured with multiple layers (i.e. linoleum, wallboard, etc.) are reported as a single sample. Reporting limit is 1%  
Samples analyzed by EMSL Analytical, Inc. Kernersville, NC NVLAP Lab Code 102104-0, CA ELAP 2689, Virginia 3333-000228, West Virginia LT000321

Initial report from 02/07/2013 09:32:03

**EMSL Analytical, Inc.**

706 Gralin Street, Kernersville, NC 27284

Phone/Fax: (336) 992-1025 / (336) 992-4175

[greensborolab@emsl.com](mailto:greensborolab@emsl.com)

EMSL Order: 021300756

CustomerID: UNSC62

CustomerPO:

ProjectID:

Attn: **Darryl Washington**  
**University of South Carolina**  
**743 Greene Street**  
**Columbia, SC 29208**

Phone: (803) 777-7000  
 Fax: (803) 777-7334  
 Received: 02/06/13 10:00 AM  
 Analysis Date: 2/7/2013  
 Collected:

Project: #70 Preston

### Test Report: Asbestos Analysis of Bulk Materials via EPA 600/R-93/116 and/or EPA 600/M4-82-020 Method(s) using Polarized Light Microscopy

Sample	Description	Appearance	Non-Asbestos		Asbestos
			% Fibrous	% Non-Fibrous	% Type
6-Black Mastic 021300756-0006B	Floor Tile	Black Non-Fibrous Heterogeneous	2% Cellulose	98% Non-fibrous (other)	None Detected
7-Felt 021300756-0007	Flooring Felt Paper	Black Fibrous Heterogeneous	65% Cellulose	35% Non-fibrous (other)	None Detected
7-Mastic 021300756-0007A	Flooring Felt Paper	Brown Non-Fibrous Heterogeneous	<1% Cellulose	100% Non-fibrous (other)	None Detected
8-Felt 021300756-0008	Flooring Felt Paper	Black Fibrous Heterogeneous	65% Cellulose	35% Non-fibrous (other)	None Detected
8-Mastic 021300756-0008A	Flooring Felt Paper	Brown Non-Fibrous Heterogeneous	<1% Cellulose	100% Non-fibrous (other)	None Detected
9-Felt 021300756-0009	Flooring Felt Paper	Black Fibrous Heterogeneous	55% Cellulose 1% Synthetic	44% Non-fibrous (other)	None Detected
9-Mastic 021300756-0009A	Flooring Felt Paper	Tan Non-Fibrous Heterogeneous	<1% Cellulose	100% Non-fibrous (other)	None Detected
10-Floor Tile 021300756-0010	Floor Tile	Beige Non-Fibrous Heterogeneous		100% Non-fibrous (other)	None Detected

Analyst(s)

Kristie Elliott (59)

Scott Combs (28)

Stephen Bennett, Laboratory Manager  
or other approved signatory

EMSL maintains liability limited to cost of analysis. This report relates only to the samples reported and may not be reproduced, except in full, without written approval by EMSL. EMSL bears no responsibility for sample collection activities or analytical method limitations. Interpretation and use of test results are the responsibility of the client. This report must not be used by the client to claim product certification, approval, or endorsement by NVLAP, NIST or any agency of the federal government. Non-friable organically bound materials present a problem matrix and therefore EMSL recommends gravimetric reduction prior to analysis. Samples received in good condition unless otherwise noted. Estimated accuracy, precision and uncertainty data available upon request. Unless requested by the client, building materials manufactured with multiple layers (i.e. linoleum, wallboard, etc.) are reported as a single sample. Reporting limit is 1%  
 Samples analyzed by EMSL Analytical, Inc. Kernersville, NC NVLAP Lab Code 102104-0, CA ELAP 2689, Virginia 3333-000228, West Virginia LT000321

Initial report from 02/07/2013 09:32:03

**EMSL Analytical, Inc.**

706 Gralin Street, Kernersville, NC 27284

Phone/Fax: (336) 992-1025 / (336) 992-4175

[greensborolab@emsl.com](mailto:greensborolab@emsl.com)

EMSL Order: 021300756

CustomerID: UNSC62

CustomerPO:

ProjectID:

Attn: **Darryl Washington**  
**University of South Carolina**  
**743 Greene Street**  
**Columbia, SC 29208**

Phone: (803) 777-7000  
 Fax: (803) 777-7334  
 Received: 02/06/13 10:00 AM  
 Analysis Date: 2/7/2013  
 Collected:

Project: #70 Preston

### Test Report: Asbestos Analysis of Bulk Materials via EPA 600/R-93/116 and/or EPA 600/M4-82-020 Method(s) using Polarized Light Microscopy

Sample	Description	Appearance	Non-Asbestos		Asbestos
			% Fibrous	% Non-Fibrous	% Type
10-Mastic 021300756-0010A	Floor Tile	Beige Non-Fibrous Heterogeneous	<1% Cellulose	100% Non-fibrous (other)	None Detected
10-Leveler 021300756-0010B	Floor Tile	White/Beige Non-Fibrous Heterogeneous	<1% Cellulose	100% Non-fibrous (other)	None Detected
11-Floor Tile 021300756-0011	Floor Tile	Tan/Beige Non-Fibrous Heterogeneous		100% Non-fibrous (other)	None Detected
11-Mastic 021300756-0011A	Floor Tile	Tan Non-Fibrous Heterogeneous	<1% Cellulose	100% Non-fibrous (other)	None Detected
12-Floor Tile 021300756-0012	Floor Tile	Beige/Grayish Non-Fibrous Heterogeneous		100% Non-fibrous (other)	None Detected
12-Mastic 021300756-0012A	Floor Tile	Yellow/Beige/Grayish Non-Fibrous Heterogeneous	<1% Cellulose	100% Non-fibrous (other)	None Detected
13-Floor Tile 021300756-0013	Leveler	Pink Non-Fibrous Heterogeneous		100% Non-fibrous (other)	None Detected
13-Mastic 021300756-0013A	Leveler	Gray/Tan Non-Fibrous Heterogeneous	<1% Cellulose	100% Non-fibrous (other)	None Detected

Analyst(s)

Kristie Elliott (59)

Scott Combs (28)

Stephen Bennett, Laboratory Manager  
or other approved signatory

EMSL maintains liability limited to cost of analysis. This report relates only to the samples reported and may not be reproduced, except in full, without written approval by EMSL. EMSL bears no responsibility for sample collection activities or analytical method limitations. Interpretation and use of test results are the responsibility of the client. This report must not be used by the client to claim product certification, approval, or endorsement by NVLAP, NIST or any agency of the federal government. Non-friable organically bound materials present a problem matrix and therefore EMSL recommends gravimetric reduction prior to analysis. Samples received in good condition unless otherwise noted. Estimated accuracy, precision and uncertainty data available upon request. Unless requested by the client, building materials manufactured with multiple layers (i.e. linoleum, wallboard, etc.) are reported as a single sample. Reporting limit is 1%  
 Samples analyzed by EMSL Analytical, Inc. Kernersville, NC NVLAP Lab Code 102104-0, CA ELAP 2689, Virginia 3333-000228, West Virginia LT000321

Initial report from 02/07/2013 09:32:03

**EMSL Analytical, Inc.**

706 Gralin Street, Kernersville, NC 27284  
 Phone/Fax: (336) 992-1025 / (336) 992-4175  
[greensborolab@emsl.com](mailto:greensborolab@emsl.com)

EMSL Order: 021300756  
 CustomerID: UNSC62  
 CustomerPO:  
 ProjectID:

Attn: **Darryl Washington**  
**University of South Carolina**  
**743 Greene Street**  
**Columbia, SC 29208**


Phone: (803) 777-7000  
 Fax: (803) 777-7334  
 Received: 02/06/13 10:00 AM  
 Analysis Date: 2/7/2013  
 Collected:

Project: #70 Preston

### Test Report: Asbestos Analysis of Bulk Materials via EPA 600/R-93/116 and/or EPA 600/M4-82-020 Method(s) using Polarized Light Microscopy

Sample	Description	Appearance	Non-Asbestos		Asbestos
			% Fibrous	% Non-Fibrous	% Type
14-Floor Tile <i>021300756-0014</i>	Leveler	Pink Non-Fibrous Heterogeneous		100% Non-fibrous (other)	None Detected
14-Mastic <i>021300756-0014A</i>	Leveler	Gray/Tan Non-Fibrous Heterogeneous	<1% Cellulose	100% Non-fibrous (other)	None Detected
15-Floor Tile <i>021300756-0015</i>	Leveler	Pink/Mauve Non-Fibrous Heterogeneous		100% Non-fibrous (other)	None Detected
15-Mastic <i>021300756-0015A</i>	Leveler	Tan/Yellow/Beige Non-Fibrous Heterogeneous	<1% Cellulose	100% Non-fibrous (other)	None Detected
16-Floor Tile <i>021300756-0016</i>	Floor Tile	Tan/Beige Non-Fibrous Heterogeneous		100% Non-fibrous (other)	None Detected
16-Mastic <i>021300756-0016A</i>	Floor Tile	Tan Non-Fibrous Heterogeneous	<1% Cellulose	100% Non-fibrous (other)	None Detected
17-Floor Tile <i>021300756-0017</i>	Floor Tile	Beige Non-Fibrous Heterogeneous		100% Non-fibrous (other)	None Detected
17-Mastic <i>021300756-0017A</i>	Floor Tile	Tan Non-Fibrous Heterogeneous	<1% Cellulose	100% Non-fibrous (other)	None Detected

Analyst(s)  
 \_\_\_\_\_  
 Kristie Elliott (59)  
 Scott Combs (28)

  
 Stephen Bennett, Laboratory Manager  
 or other approved signatory

EMSL maintains liability limited to cost of analysis. This report relates only to the samples reported and may not be reproduced, except in full, without written approval by EMSL. EMSL bears no responsibility for sample collection activities or analytical method limitations. Interpretation and use of test results are the responsibility of the client. This report must not be used by the client to claim product certification, approval, or endorsement by NVLAP, NIST or any agency of the federal government. Non-friable organically bound materials present a problem matrix and therefore EMSL recommends gravimetric reduction prior to analysis. Samples received in good condition unless otherwise noted. Estimated accuracy, precision and uncertainty data available upon request. Unless requested by the client, building materials manufactured with multiple layers (i.e. linoleum, wallboard, etc.) are reported as a single sample. Reporting limit is 1%  
 Samples analyzed by EMSL Analytical, Inc. Kernersville, NC NVLAP Lab Code 102104-0, CA ELAP 2689, Virginia 3333-000228, West Virginia LT000321

Initial report from 02/07/2013 09:32:03

**EMSL Analytical, Inc.**

706 Gralin Street, Kernersville, NC 27284

Phone/Fax: (336) 992-1025 / (336) 992-4175

[greensborolab@emsl.com](mailto:greensborolab@emsl.com)

EMSL Order: 021300756

CustomerID: UNSC62

CustomerPO:

ProjectID:

Attn: **Darryl Washington**  
**University of South Carolina**  
**743 Greene Street**  
**Columbia, SC 29208**

Phone: (803) 777-7000  
 Fax: (803) 777-7334  
 Received: 02/06/13 10:00 AM  
 Analysis Date: 2/7/2013  
 Collected:

Project: #70 Preston

### Test Report: Asbestos Analysis of Bulk Materials via EPA 600/R-93/116 and/or EPA 600/M4-82-020 Method(s) using Polarized Light Microscopy

Sample	Description	Appearance	Non-Asbestos		Asbestos
			% Fibrous	% Non-Fibrous	% Type
18-Floor Tile 021300756-0018	Floor Tile	Beige Non-Fibrous Heterogeneous		100% Non-fibrous (other)	None Detected
18-Mastic 021300756-0018A	Floor Tile	Yellow/Cream Non-Fibrous Heterogeneous	3% Synthetic	97% Non-fibrous (other)	None Detected
19-Floor Tile 021300756-0019	Tile/Leveler	Tan/Beige Non-Fibrous Heterogeneous		97% Non-fibrous (other)	3% Chrysotile
19-Mastic 021300756-0019A	Tile/Leveler	Tan Non-Fibrous Heterogeneous	<1% Cellulose	100% Non-fibrous (other)	None Detected
20-Floor Tile 021300756-0020	Tile/Leveler	Tan/Beige Non-Fibrous Heterogeneous		97% Non-fibrous (other)	3% Chrysotile
20-Mastic 021300756-0020A	Tile/Leveler	Tan Non-Fibrous Heterogeneous	<1% Cellulose	100% Non-fibrous (other)	None Detected
21-Floor Tile 021300756-0021	Tile/Leveler	Tan/Beige Non-Fibrous Heterogeneous		97% Non-fibrous (other)	3% Chrysotile
21-Mastic 021300756-0021A	Tile/Leveler	Gold/Orange Non-Fibrous Heterogeneous	<1% Cellulose <1% Synthetic	100% Non-fibrous (other)	None Detected

Analyst(s)

Kristie Elliott (59)

Scott Combs (28)

Stephen Bennett, Laboratory Manager  
or other approved signatory

EMSL maintains liability limited to cost of analysis. This report relates only to the samples reported and may not be reproduced, except in full, without written approval by EMSL. EMSL bears no responsibility for sample collection activities or analytical method limitations. Interpretation and use of test results are the responsibility of the client. This report must not be used by the client to claim product certification, approval, or endorsement by NVLAP, NIST or any agency of the federal government. Non-friable organically bound materials present a problem matrix and therefore EMSL recommends gravimetric reduction prior to analysis. Samples received in good condition unless otherwise noted. Estimated accuracy, precision and uncertainty data available upon request. Unless requested by the client, building materials manufactured with multiple layers (i.e. linoleum, wallboard, etc.) are reported as a single sample. Reporting limit is 1%  
 Samples analyzed by EMSL Analytical, Inc. Kernersville, NC NVLAP Lab Code 102104-0, CA ELAP 2689, Virginia 3333-000228, West Virginia LT000321

Initial report from 02/07/2013 09:32:03





# EMSL Analytical, Inc.

706 Gralin Street, Kernersville, NC 27284  
Phone/Fax: (336) 992-1025 / (336) 992-4175  
[greensborolab@emsl.com](mailto:greensborolab@emsl.com)

EMSL Order: 021300756  
CustomerID: UNSC62  
CustomerPO:  
ProjectID:

Attn: **Darryl Washington**  
**University of South Carolina**  
**743 Greene Street**  
**Columbia, SC 29208**

Phone: (803) 777-7000  
Fax: (803) 777-7334  
Received: 02/06/13 10:00 AM  
Analysis Date: 2/7/2013  
Collected:

Project: #70 Preston

## Test Report: Asbestos Analysis of Bulk Materials via EPA 600/R-93/116 and/or EPA 600/M4-82-020 Method(s) using Polarized Light Microscopy

Sample	Description	Appearance	Non-Asbestos		Asbestos
			% Fibrous	% Non-Fibrous	% Type
22-Floor Tile 021300756-0022	Floor Tile/Mastic	Gray Non-Fibrous Heterogeneous		92% Non-fibrous (other)	8% Chrysotile
Insufficeint Mastic to Separate.					
22-Leveler 021300756-0022A	Floor Tile/Mastic	Gray Non-Fibrous Heterogeneous	3% Cellulose	97% Non-fibrous (other)	None Detected
23-Floor Tile 021300756-0023	Floor Tile/Mastic	Gray Non-Fibrous Heterogeneous		92% Non-fibrous (other)	8% Chrysotile
23-Mastic 021300756-0023A	Floor Tile/Mastic	Black Non-Fibrous Heterogeneous	1% Cellulose	99% Non-fibrous (other)	None Detected
24-Floor Tile 021300756-0024	Floor Tile/Mastic	Gray Fibrous Heterogeneous		92% Non-fibrous (other)	8% Chrysotile
24-Mastic 021300756-0024A	Floor Tile/Mastic	Black Non-Fibrous Heterogeneous	1% Cellulose	99% Non-fibrous (other)	None Detected
25-Leveler 021300756-0025	Floor Leveler	Gray Fibrous Heterogeneous	5% Cellulose	95% Non-fibrous (other)	None Detected
25-Mastic 021300756-0025A	Floor Leveler	Beige Non-Fibrous Heterogeneous	<1% Cellulose	100% Non-fibrous (other)	None Detected

Analyst(s)

*Kristie Elliott (59)*  
*Scott Combs (28)*

Stephen Bennett, Laboratory Manager  
or other approved signatory

EMSL maintains liability limited to cost of analysis. This report relates only to the samples reported and may not be reproduced, except in full, without written approval by EMSL. EMSL bears no responsibility for sample collection activities or analytical method limitations. Interpretation and use of test results are the responsibility of the client. This report must not be used by the client to claim product certification, approval, or endorsement by NVLAP, NIST or any agency of the federal government. Non-friable organically bound materials present a problem matrix and therefore EMSL recommends gravimetric reduction prior to analysis. Samples received in good condition unless otherwise noted. Estimated accuracy, precision and uncertainty data available upon request. Unless requested by the client, building materials manufactured with multiple layers (i.e. linoleum, wallboard, etc.) are reported as a single sample. Reporting limit is 1%  
Samples analyzed by EMSL Analytical, Inc. Kernersville, NC NVLAP Lab Code 102104-0, CA ELAP 2689, Virginia 3333-000228, West Virginia LT000321

Initial report from 02/07/2013 09:32:03

**EMSL Analytical, Inc.**

706 Gralin Street, Kernersville, NC 27284

Phone/Fax: (336) 992-1025 / (336) 992-4175

[greensborolab@emsl.com](mailto:greensborolab@emsl.com)

EMSL Order: 021300756

CustomerID: UNSC62

CustomerPO:

ProjectID:

Attn: **Darryl Washington**  
**University of South Carolina**  
**743 Greene Street**  
**Columbia, SC 29208**

Phone: (803) 777-7000  
 Fax: (803) 777-7334  
 Received: 02/06/13 10:00 AM  
 Analysis Date: 2/7/2013  
 Collected:

Project: #70 Preston

### Test Report: Asbestos Analysis of Bulk Materials via EPA 600/R-93/116 and/or EPA 600/M4-82-020 Method(s) using Polarized Light Microscopy

Sample	Description	Appearance	Non-Asbestos		Asbestos
			% Fibrous	% Non-Fibrous	% Type
26-Leveler 021300756-0026	Floor Leveler	Gray Fibrous Heterogeneous	5% Cellulose	95% Non-fibrous (other)	None Detected
26-Mastic 021300756-0026A	Floor Leveler	Beige Non-Fibrous Heterogeneous	<1% Cellulose	100% Non-fibrous (other)	None Detected
27-Leveler 021300756-0027	Floor Leveler	Gray/Tan Non-Fibrous Heterogeneous	3% Cellulose	97% Non-fibrous (other)	None Detected
27-Mastic 021300756-0027A	Floor Leveler	Yellow/Cream Non-Fibrous Heterogeneous	<1% Cellulose	100% Non-fibrous (other)	None Detected
28-Felt 021300756-0028	Tile/Leveler	Black Fibrous Heterogeneous	65% Cellulose	35% Non-fibrous (other)	None Detected
28-Floor Tile 021300756-0028A	Tile/Leveler	Black Fibrous Heterogeneous		90% Non-fibrous (other)	10% Chrysotile
28-Leveler 021300756-0028B	Tile/Leveler	Beige Non-Fibrous Heterogeneous	<1% Cellulose	100% Non-fibrous (other)	None Detected
28-Mastic 021300756-0028C	Tile/Leveler	Tan Non-Fibrous Heterogeneous	<1% Cellulose	100% Non-fibrous (other)	None Detected

Analyst(s)

Kristie Elliott (59)

Scott Combs (28)

Stephen Bennett, Laboratory Manager  
or other approved signatory

EMSL maintains liability limited to cost of analysis. This report relates only to the samples reported and may not be reproduced, except in full, without written approval by EMSL. EMSL bears no responsibility for sample collection activities or analytical method limitations. Interpretation and use of test results are the responsibility of the client. This report must not be used by the client to claim product certification, approval, or endorsement by NVLAP, NIST or any agency of the federal government. Non-friable organically bound materials present a problem matrix and therefore EMSL recommends gravimetric reduction prior to analysis. Samples received in good condition unless otherwise noted. Estimated accuracy, precision and uncertainty data available upon request. Unless requested by the client, building materials manufactured with multiple layers (i.e. linoleum, wallboard, etc.) are reported as a single sample. Reporting limit is 1%  
 Samples analyzed by EMSL Analytical, Inc. Kernersville, NC NVLAP Lab Code 102104-0, CA ELAP 2689, Virginia 3333-000228, West Virginia LT000321

Initial report from 02/07/2013 09:32:03

**EMSL Analytical, Inc.**

706 Gralin Street, Kernersville, NC 27284

Phone/Fax: (336) 992-1025 / (336) 992-4175

[greensborolab@emsl.com](mailto:greensborolab@emsl.com)

EMSL Order: 021300756

CustomerID: UNSC62

CustomerPO:

ProjectID:

Attn: **Darryl Washington**  
**University of South Carolina**  
**743 Greene Street**  
**Columbia, SC 29208**

Phone: (803) 777-7000  
 Fax: (803) 777-7334  
 Received: 02/06/13 10:00 AM  
 Analysis Date: 2/7/2013  
 Collected:

Project: #70 Preston

### Test Report: Asbestos Analysis of Bulk Materials via EPA 600/R-93/116 and/or EPA 600/M4-82-020 Method(s) using Polarized Light Microscopy

Sample	Description	Appearance	Non-Asbestos		Asbestos
			% Fibrous	% Non-Fibrous	% Type
29-Felt 021300756-0029	Tile/Leveler	Black Fibrous Heterogeneous	65% Cellulose	35% Non-fibrous (other)	None Detected
29-Floor Tile 021300756-0029A	Tile/Leveler	Black Fibrous Heterogeneous		90% Non-fibrous (other)	10% Chrysotile
29-Leveler 021300756-0029B	Tile/Leveler	Beige Non-Fibrous Heterogeneous	<1% Cellulose	100% Non-fibrous (other)	None Detected
29-Mastic 021300756-0029C	Tile/Leveler	Tan Non-Fibrous Heterogeneous	<1% Cellulose	100% Non-fibrous (other)	None Detected
30-Black Mastic 021300756-0030	Tile/Leveler	Black Non-Fibrous Heterogeneous	3% Cellulose	97% Non-fibrous (other)	None Detected
30-Floor Tile 021300756-0030A	Tile/Leveler	Black Non-Fibrous Heterogeneous		90% Non-fibrous (other)	10% Chrysotile
30-Leveler 021300756-0030B	Tile/Leveler	Beige Non-Fibrous Heterogeneous	<1% Cellulose	100% Non-fibrous (other)	None Detected
30-Tan Mastic 021300756-0030C	Tile/Leveler	Tan Non-Fibrous Heterogeneous	<1% Cellulose	100% Non-fibrous (other)	None Detected

Analyst(s)

Kristie Elliott (59)

Scott Combs (28)

Stephen Bennett, Laboratory Manager  
or other approved signatory

EMSL maintains liability limited to cost of analysis. This report relates only to the samples reported and may not be reproduced, except in full, without written approval by EMSL. EMSL bears no responsibility for sample collection activities or analytical method limitations. Interpretation and use of test results are the responsibility of the client. This report must not be used by the client to claim product certification, approval, or endorsement by NVLAP, NIST or any agency of the federal government. Non-friable organically bound materials present a problem matrix and therefore EMSL recommends gravimetric reduction prior to analysis. Samples received in good condition unless otherwise noted. Estimated accuracy, precision and uncertainty data available upon request. Unless requested by the client, building materials manufactured with multiple layers (i.e. linoleum, wallboard, etc.) are reported as a single sample. Reporting limit is 1%  
 Samples analyzed by EMSL Analytical, Inc. Kernersville, NC NVLAP Lab Code 102104-0, CA ELAP 2689, Virginia 3333-000228, West Virginia LT000321

Initial report from 02/07/2013 09:32:03



# EMSL Analytical, Inc.

706 Gralin Street, Kernersville, NC 27284  
Phone/Fax: (336) 992-1025 / (336) 992-4175  
[greensborolab@emsl.com](mailto:greensborolab@emsl.com)

EMSL Order: 021300756  
CustomerID: UNSC62  
CustomerPO:  
ProjectID:

Attn: **Darryl Washington**  
**University of South Carolina**  
**743 Greene Street**  
**Columbia, SC 29208**

Phone: (803) 777-7000  
Fax: (803) 777-7334  
Received: 02/06/13 10:00 AM  
Analysis Date: 2/7/2013  
Collected:

Project: #70 Preston

## Test Report: Asbestos Analysis of Bulk Materials via EPA 600/R-93/116 and/or EPA 600/M4-82-020 Method(s) using Polarized Light Microscopy

Sample	Description	Appearance	Non-Asbestos		Asbestos
			% Fibrous	% Non-Fibrous	% Type
31 021300756-0031	Plaster	White Non-Fibrous Heterogeneous	<1% Cellulose	100% Non-fibrous (other)	None Detected
32 021300756-0032	Plaster	White/Grayish Non-Fibrous Heterogeneous	<1% Cellulose	100% Non-fibrous (other)	None Detected
33-Skim Coat 021300756-0033	Plaster	White Non-Fibrous Heterogeneous		100% Non-fibrous (other)	None Detected
33-Rough Coat 021300756-0033A	Plaster	Tan Non-Fibrous Heterogeneous	1% Cellulose	99% Non-fibrous (other)	None Detected
34-Skim Coat 021300756-0034	Plaster	White Non-Fibrous Heterogeneous		100% Non-fibrous (other)	None Detected
34-Rough Coat 021300756-0034A	Plaster	Tan Non-Fibrous Heterogeneous	<1% Cellulose	100% Non-fibrous (other)	None Detected
35-Skim Coat 021300756-0035	Plaster	White Non-Fibrous Heterogeneous		100% Non-fibrous (other)	None Detected
35-Rough Coat 021300756-0035A	Plaster	Tan Non-Fibrous Heterogeneous	<1% Cellulose	100% Non-fibrous (other)	None Detected

Analyst(s)

Kristie Elliott (59)  
Scott Combs (28)

Stephen Bennett, Laboratory Manager  
or other approved signatory

EMSL maintains liability limited to cost of analysis. This report relates only to the samples reported and may not be reproduced, except in full, without written approval by EMSL. EMSL bears no responsibility for sample collection activities or analytical method limitations. Interpretation and use of test results are the responsibility of the client. This report must not be used by the client to claim product certification, approval, or endorsement by NVLAP, NIST or any agency of the federal government. Non-friable organically bound materials present a problem matrix and therefore EMSL recommends gravimetric reduction prior to analysis. Samples received in good condition unless otherwise noted. Estimated accuracy, precision and uncertainty data available upon request. Unless requested by the client, building materials manufactured with multiple layers (i.e. linoleum, wallboard, etc.) are reported as a single sample. Reporting limit is 1%  
Samples analyzed by EMSL Analytical, Inc. Kernersville, NC NVLAP Lab Code 102104-0, CA ELAP 2689, Virginia 3333-000228, West Virginia LT000321

Initial report from 02/07/2013 09:32:03



# EMSL Analytical, Inc.

706 Gralin Street, Kernersville, NC 27284

Phone/Fax: (336) 992-1025 / (336) 992-4175

[greensborolab@emsl.com](mailto:greensborolab@emsl.com)

EMSL Order: 021300756

CustomerID: UNSC62

CustomerPO:

ProjectID:

Attn: **Darryl Washington**  
**University of South Carolina**  
**743 Greene Street**  
**Columbia, SC 29208**

Phone: (803) 777-7000  
Fax: (803) 777-7334  
Received: 02/06/13 10:00 AM  
Analysis Date: 2/7/2013  
Collected:

Project: #70 Preston

## Test Report: Asbestos Analysis of Bulk Materials via EPA 600/R-93/116 and/or EPA 600/M4-82-020 Method(s) using Polarized Light Microscopy

Sample	Description	Appearance	Non-Asbestos		Asbestos
			% Fibrous	% Non-Fibrous	% Type
36-Skim Coat 021300756-0036	Plaster	White Non-Fibrous Heterogeneous		100% Non-fibrous (other)	None Detected
36-Rough Coat 021300756-0036A	Plaster	Tan Non-Fibrous Heterogeneous	<1% Cellulose	100% Non-fibrous (other)	None Detected
37 021300756-0037	Plaster	White/Beige Non-Fibrous Heterogeneous	<1% Cellulose	100% Non-fibrous (other)	None Detected
38-Sheetrock 021300756-0038	Sheet Rock	Brown/Gray Fibrous Heterogeneous	20% Cellulose 1% Glass	79% Non-fibrous (other)	None Detected
38-Joint Compound 021300756-0038A	Sheet Rock	White Non-Fibrous Heterogeneous	<1% Cellulose	100% Non-fibrous (other)	None Detected
39-Tape 021300756-0039	Sheet Rock	Beige Fibrous Heterogeneous	99% Cellulose	1% Non-fibrous (other)	None Detected
No Sheetrock Present.					
39-Joint Compound 021300756-0039A	Sheet Rock	White Non-Fibrous Heterogeneous	1% Cellulose	99% Non-fibrous (other)	None Detected

Analyst(s)

Kristie Elliott (59)

Scott Combs (28)

Stephen Bennett, Laboratory Manager  
or other approved signatory

EMSL maintains liability limited to cost of analysis. This report relates only to the samples reported and may not be reproduced, except in full, without written approval by EMSL. EMSL bears no responsibility for sample collection activities or analytical method limitations. Interpretation and use of test results are the responsibility of the client. This report must not be used by the client to claim product certification, approval, or endorsement by NVLAP, NIST or any agency of the federal government. Non-friable organically bound materials present a problem matrix and therefore EMSL recommends gravimetric reduction prior to analysis. Samples received in good condition unless otherwise noted. Estimated accuracy, precision and uncertainty data available upon request. Unless requested by the client, building materials manufactured with multiple layers (i.e. linoleum, wallboard, etc.) are reported as a single sample. Reporting limit is 1%  
Samples analyzed by EMSL Analytical, Inc. Kernersville, NC NVLAP Lab Code 102104-0, CA ELAP 2689, Virginia 3333-000228, West Virginia LT000321

Initial report from 02/07/2013 09:32:03

From: RUSSELL III, TY  
Sent: Thursday, February 21, 2013 8:15 AM  
To: WASHINGTON II, DARRYL  
Subject: FW: Variance request

Contractor may use this variance request if they like.

-----Original Message-----

From: RUSSELL III, TY  
Sent: Tuesday, January 22, 2013 2:22 PM  
To: 'Maryellyn Cannizzaro'  
Subject: FW: Variance request

Maryellyn,  
See the below email from James Hinkle with SCDHEC- Asbestos section regarding the variance request for the 1x4 areas leading from the bathroom to the dorm rooms. If you need anything else from me please let me know.  
Ty

-----Original Message-----

From: Hinkle, James [mailto:hinkleje@dhec.sc.gov]  
Sent: Tuesday, January 22, 2013 2:18 PM  
To: RUSSELL III, TY  
Subject: Re: Variance request

The variance is granted as described in the email. Please include a written, signed variance request with the permit application to be kept as part of the file.

James E. Hinkle  
South Carolina Department of Health and Environmental Control Bureau of Air Quality

On Tue, Jan 22, 2013 at 8:40 AM, RUSSELL III, TY <NTRUSSE@fmc.sc.edu> wrote:

> James,  
>  
> Per our conversation last Friday I am following-up with an email to  
> see if you guys would entertain a variance request for an upcoming  
> project this summer. The scope of work is below. For budget purposes  
> we want to have an idea on how you guys would view this job. I am  
> assuming the contractor will be using a circular saw to remove the floor  
> tile and subfloor.

>  
>  
>  
> Scope: We have project where we will need to remove a 1ft x 4ft area  
> of floor tile coming out of all the bathrooms in a dormitory. There  
> are approximately 78 bathrooms in the building, and each bathroom is  
> shared by 2 dorm rooms, approximately 156 dorm rooms. We believe  
> there are multiple layers of floor tile and subfloor in each location.  
> We are assuming the floor tile to contain ACM. If you look at the

> entire building there is approximately 824sqft. of floor space which  
> needs to be removed in 156 different locations.  
>  
>  
>  
> Variance request  
>  
> Our variance request is to place each 1ft x 4 ft location under a mini  
> containment and negative air. Using 2 suites in the mini containment  
> and HEPA vacuuming off the outer suite before leaving the mini containment.  
> Then having a changing area, poly, to remove the inner suite. For air  
> monitoring we were hoping to use personal air sampling in lieu of air  
> monitoring. There will be water in the mini containment to keep  
> visible emission down, and of course employees will be wearing respirators.  
>  
>  
>  
> Please let us know your thoughts on the above job at your earliest  
> convenience.  
>  
>  
>  
> Ty Russell  
>  
> Environmental Safety Manager - Facilities Department  
>  
> University of South Carolina  
>  
> Office: 803-777-1208  
>  
>

## SECTION 09305 TILE SETTING MATERIALS AND ACCESSORIES

### PART 1 GENERAL

#### 1.1 SECTION INCLUDES

- A. Edge-protection and transition profiles for walls, floors and curbs.
- B. Movement joint and cove-shaped profiles.
- C. Waterproofing Membrane.
- D. Floor drain, with integrated bonding flange.
- E. Shower waterproofing: prefabricated substrates, waterproofing membrane, floor drain with integrated bonding flange, and sealant.
- F. Setting materials: adhesives, mortars, grouts, and sealants.

#### 1.2 RELATED SECTIONS

- A. Section 03505 - Self Leveling Underlayment
- B. Section 07900 - Joint Sealers.
- C. Section 09250 - Gypsum Board Assemblies
- D. Section 09310 - Ceramic Tile
- E. Section 15400 - Plumbing

#### 1.3 REFERENCES

- A. CSA B79-08: Floor, Area, and Shower Drains, and Cleanouts for Residential Construction.
- B. IAPMO IGC 195: Interim Guide Criteria for Floor Drain with Integrated Bonding Flange.
- C. Tile Council of North America (TCNA) Handbook for Ceramic Tile Installation.
- D. Terrazzo, Tile and Marble Association of Canada (TTMAC) Specification Guide 09300 Tile Installation Manual.
- E. American National Standard Specifications for the installation of ceramic tile A108 / A118 / A136.1.



#### 1.4 SUBMITTALS

- A. Submit under provisions of Section 01300.
- B. Product Data: Manufacturer's data sheets on each product to be used, including:
  - 1. Preparation instructions and recommendations.
  - 2. Storage and handling requirements and recommendations.
  - 3. Installation methods.
- C. Verification Samples: For each finish product specified, two samples, minimum size 6 inches (150 mm) long, representing actual product, color, and finish.
- D. Manufacturer's Certificates: Certify products meet or exceed specified requirements.

#### 1.5 QUALITY ASSURANCE

- A. Manufacturer Qualifications: Company specializing in manufacturing products specified in this section with minimum ten years of experience.
- B. Installer Qualifications: Company specializing in performing the work of this section with minimum five years of experience.
- C. Source Limitations for Setting Materials and Accessories: Obtain product of a uniform quality for each application condition from a single manufacturer.
- D. Mock-Up: Provide a mock-up for evaluation of surface preparation techniques and application workmanship as depicted in drawings.
  - 1. Provide mock-up within three weeks of the notice to proceed.
  - 2. Do not proceed with remaining work until workmanship, color, and sheen are approved by Architect.
  - 3. Refinish mock-up area as required to produce acceptable work.
- E. Preinstallation Conference: Conduct conference at the Project site.
  - 1. Convene three weeks prior to commencing work of this section.
  - 2. Require attendance of installation material manufacturer, tile supplier, tile installer and installers of related work. Review installation procedures and coordination required with related work.
  - 3. Meeting agenda includes but is not limited to:
    - a. Surface preparation.
    - b. Tile and installation material compatibility.
    - c. Edge protection, transition and pre-fabricated movement joint profiles.
    - d. Waterproofing techniques.
    - e. Crack isolation techniques.

## 1.6 DELIVERY, STORAGE, AND HANDLING

- A. Store products in manufacturer's unopened packaging until ready for installation.
- B. Protect materials from exposure to moisture. Do not deliver until after wet work is complete and dry.
- C. Store materials in a dry, warm, ventilated weathertight location.

## 1.7 PROJECT CONDITIONS

- A. Maintain environmental conditions (temperature, humidity, and ventilation) within limits recommended by manufacturer for optimum results. Do not install products under environmental conditions outside manufacturer's absolute limits.

## 1.8 COORDINATION

- A. Coordinate Work with other operations and installation of floor finish materials to avoid damage to installed materials.

## 1.9 WARRANTY

- A. Submit a written warranty executed by the manufacturer, agreeing to repair or replace tile setting materials and accessories that fail within the warranty period. Failures include, but are not limited to:
  - 1. Sagging, warping, delaminating, cracking, peeling, splitting and any other failures that result from defects in materials or factory workmanship.
- B. Warranty Period Schluter Systems and related materials:
  - 1. Fifteen (15) years from date of substantial completion.
- C. The Warranty shall not deprive the Owner of other rights the Owner may have under other provisions of the Contract Documents and will be in addition to and run concurrent with other warranties made by the Contractor under the requirements of the Contract Documents.

## PART 2 PRODUCTS

### 2.1 MANUFACTURERS – BASIS OF DESIGN

- A. Acceptable Manufacturer: Schluter Systems, L.P., 194 Pleasant Ridge Road, Plattsburgh, NY 12901-5841. ASD. Tel: (800) 472-4588. Fax (800) 477-9783. E-mail: [specassist@schluter.com](mailto:specassist@schluter.com). Web: [www.schluter.com](http://www.schluter.com).

### 2.2 EDGE-PROTECTION PROFILES FOR WALLS

- A. L-shaped edge profile for tiled walls: Schluter-SCHIENE

1. Description: L-shaped profile with 1/8 inch (3.2 mm) wide visible surface integrated trapezoid-perforated anchoring leg, and integrated grout joint spacer.
2. Material and Finish:
  - a. A - Aluminum.
    - 1) Height as required.

## 2.3 MOVEMENT JOINTS AND COVE-SHAPED PROFILES

- A. Movement Joint for inside wall corners and for floor to wall tile applications: Schluter-DILEX-EKE
  1. Movement Zone Color:
    - a. HB – Light Beige.

## 2.4 WATERPROOFING MEMBRANE

- A. Waterproofing uncoupling membrane for Bathroom Floors and for Shower Floors: Schluter-KERDI
  1. Description: 0.008 inch (0.2 mm) thick, orange polyethylene membrane, with polypropylene fleece laminated on both sides, which is listed by cUPC to meet or exceed requirements of the "American national standard specifications for load bearing, bonded, waterproof membranes for thin-set ceramic tile and dimension stone installation A118.10 and is listed by cUPC, and is evaluated by ICC-ES (see Report No. ESR-2467).
- B. Waterproof Seaming Band for Bathroom Floors: Schluter-KERDI-BAND
  1. Description: Seams and Corners material 0.004 inch (0.1 mm) thick, orange polyethylene membrane, with polypropylene fleece laminated on both sides
  - 2..

## 2.5 FLOOR DRAIN WITH INTEGRATED BONDING FLANGE

- A. Schluter-KERDI-DRAIN, Plastic:
  1. Description: floor drain 11-25/32 inch (300 mm) diameter, trapezoid-perforated, integrated bonding flange with polypropylene fleece thermally laminated to the surface and hubbed connection to 2 inch (50 mm) drain pipe. Grate assembly includes 6 inch by 6 inch (153 mm by 153 mm) square grate, height adjustment collar, and lateral adjustment ring with trapezoid perforations.
  2. Drain listed by UPC to meet requirements of "International Association of Plumbing and Mechanical Officials Interim Guide Criteria for Floor Drain with Integrated Bonding Flange" (IGC 195), listed by CSA to meet requirements of the Canadian Standards Association standard, "Floor, Area, and Shower Drains, and Cleanouts for Residential Construction" (CSA B79), and referenced in method B422 of the Tile

- Council of North America Handbook for Ceramic Tile Installation.
3. Drain Housing Material:
    - a. PVC.
  4. Grate Material and Finish:
    - a. E - Stainless Steel Type 304 = V2A.
  5. Nominal Grate Size:
    - a. 6 inch (150 mm) by 6 inch (150 mm) square.
  6. Drain Outlet:
    - a. 2 inch (50 mm) outlet.

**B. Schluter-KERDI-LINE 60 with perforated locking drain grate for accessible showers:**

1. **Description: KERDI-LINE floor drain, trapezoid-perforated, integrated bonding flange with polypropylene fleece thermally laminated to the surface and hubbed connection to 2 inch (50 mm) drain pipe.**
2. **Drain listed by UPC to meet requirements of "International Association of Plumbing and Mechanical Officials Interim Guide Criteria for Floor Drain with Integrated Bonding Flange" (IGC 195), listed by CSA to meet requirements of the Canadian Standards Association standard, "Floor, Area, and Shower Drains, and Cleanouts for Residential Construction" (CSA B79), and referenced in method B422 of the Tile Council of North America Handbook for Ceramic Tile Installation.**
3. **Drain Housing Material:**
  - a. PVC.
4. **Grate Material and Finish:**
  - a. E - Stainless Steel Type 304 = V2A.
5. **Drain Outlet:**
  - a. 2 inch (50 mm) outlet.

## 2.6 PREFABRICATED SHOWER COMPONENTS

**A. Prefabricated Sloped Shower tray base: Shower Schluter-KERDI-SHOWER-ST**

1. **Description: trapezoid-imprinted, prefabricated, sloped tiled shower tray base, made of 2.75 lb/ft<sup>3</sup> (44 kg/m<sup>3</sup>) density, self-extinguishing (HF-1 rating per UL-94) expanded polystyrene, with 12-5/16 inch (313 mm) diameter removable recessed section with 1/8 inch (3 mm) wide ribs on top and channels on the underside.**
2. **Size:**
  - a. ST-122 - 48 inch by 48 inch by 1-1/2 inch (1220 mm by 1220 mm by 38 mm).
  - b. **ST-TBD – 30 inch by 60 inch by 1-1/2 inch for accessible showers tray base.**

- B. Prefabricated Shower curb base: Schluter-KERDI-SHOWER-KB Curb 3 x 48 (special production).**
- 1. Description: trapezoid-imprinted, prefabricated, tiled shower curb base, made of 2.75 lb/ft<sup>3</sup> (44 kg/m<sup>3</sup>) density, self-extinguishing (HF-1 rating per UL-94) expanded polystyrene.**
  - 2. Curb dimensions are 48 inch by 6 inch by 3 inch (1220 mm by 150 mm by 75 mm).**
  - 3. Confirm curb dimensions for all shower types.**
  - 4. Contact Richard Oliver at Palmetto Tile for pricing on special production items: 803 206 7156.**
- C. Pre-fabricated shaving ledge: Schluter- KB Corner Bench 20 (special production).**
- 1. Cut into shower tray per manufacturer's instructions.**
  - 2. Contact Richard Oliver at Palmetto Tile for pricing on special production items: 803 206 7156.**

## 2.7 WATERPROOF BUILDING PANEL FOR CERAMIC AND STONE TILE

- A. Waterproof building panels for bathroom walls: Schluter-KERDI-BOARD**
- 1. Description: Rigid extruded polystyrene foam building element panel, with reinforcement material and polypropylene fleece webbing laminated on both sides for thin-set ceramic tile and dimension stone Installations.**
  - 2. Provide wide bands for seams, corners and pre-fabricated seals (Schluter®-KERDI-BAND and Schluter®-KERDI-SEAL-PS/-MV, fasteners and washers)**
  - 3. Panel Thickness:**
    - a. ½ inch for shower walls
    - b. Thickness as required for bathroom walls.
    - c. Spot bond where direct applied using Kerdi- Fix
    - d. Where Kerdi-Board is mechanically fastened to a stud wall contractor shall use Kerdi-Board-ZSD or Kerdi Board ZT washers. Kerdi-fix shall be applied to all penetrations through the Kerdi-Board per manufacturer's written instructions.

## 2.8 SETTING MATERIALS

- A. Installation methods as specified in Section 09310 - Ceramic Tile.**

## PART 3 EXECUTION

### 3.1 EXAMINATION

- A. Do not begin installation until substrates have been properly prepared.
- B. If substrate preparation is the responsibility of another installer, notify Architect of unsatisfactory preparation before proceeding.

### 3.2 PREPARATION

- A. Clean surfaces thoroughly prior to installation.
- B. Prepare surfaces using the methods recommended by the manufacturer for achieving the best result for the substrate under the project conditions.
- C. Confirm that slope and configuration of all floor materials, substrates and underlayment are installed so the floors drain directly to floor drains and are completely dry within 12 hours. Compile and submit test data to show floors in each space comply with this requirement.
- D. Confirm that slope and configuration of all floor materials, substrates and underlayment are installed so the floors fully drain with water fully flowing through the drainage system and are watertight for at least 24 hours when the p-trap and or drain are temporarily plugged for testing. Compile and submit test data to show membrane systems and floors in each space comply with this requirement.

### 3.3 INSTALLATION

- A. Install in accordance with manufacturer's instructions.

### 3.4 PROTECTION

- A. Protect installed products until completion of project.
- B. Touch-up, repair or replace damaged products before Substantial Completion.

END OF SECTION